



City of Helena Pre-Application Information Form

Please fill out this form as best you can and return to the City Planning Office **five (5) days prior** to your pre-application meeting. If you have any problems filling out this form, please call the City Planning Office at 447-8490 and we will be happy to assist you.

PLEASE CHECK ONE: **SUBDIVISION** **NON-SUBDIVISION**

1. Name of Applicant: Great West Engineering
Name of Property Owner (if different): Great West Engineering
Address/City/State/Zip: 2501 Belt View Dr, Helena, MT 59601
Email: blloyd@greatwesteng.com or dmccauley@greatwesteng.com Primary Phone: (406) 495-6198

Secondary Phone: _____
2. Contact person: Matt Aune Primary Phone: 406-459-6271
Email: matta@mosaicarch.com Secondary Phone: _____

3. Legal Description and general location: S35, T10 N, R03 W, C.O.S. 3305702, PARCEL 1-A-1, ACRES 32.957

Please provide a general vicinity map, showing existing streets, north arrow and the proposed location of the site.

4. Describe land use proposal (CUP, zone change, etc.): NA

5. What, if any, is the existing zoning? _____

6. Do you plan to hire an engineer? Yes No Do you plan to hire a surveyor? Yes No

7. Are you aware of any site conditions that may affect development? NO

8. Describe proposed water and sewer system: Connect to existing City Services

9. Describe proposed streets/access: access off of War Eagle and Mryna Loy

10. Do you intend to apply for a variance? No

11. Describe drainage provisions (if applicable): _____

For Subdivision Pre-Application Conference, please complete the following additional information:

12. Name of proposed subdivision: na

13. Number and size of lots: na approximate size of subdivision: na

14. How do you intend to meet the park dedication requirement? cash donation park dedication
 Combination n/a

Please include a sketch of the proposed subdivision showing the layout of the existing streets in relation to the site.

SUBDIVISION PRE-APPLICATION CONFERENCE

- A. Prior to submitting a preliminary plat application, a subdivider for a subdivision must consult with the Planning division of the Community Development Department to become familiar with the City's subdivision application requirements and review process. The subdivider must attend a pre-application meeting prior to submitting a subdivision application or resubmitting a previously submitted subdivision application that has material changes or amendments made by the subdivider after the original application has been determined by the City to contain required elements and sufficient information.
- B. The pre-application meeting will be scheduled within thirty (30) days after the subdivider submits a written request for a pre-application consultation and submits the pre-application materials to the City.
- C. To be considered for review, a subdivision application must be submitted within one hundred eighty (180) days of the pre-application meeting consultation. If an application is not submitted within that time frame, the subdivider must request a new pre-application consultation prior to submitting the subdivision application.
- D. In order to make the pre-application consultation productive, the subdivider should provide as much of the following information as possible:
- 1. Names and addresses of the subdivider and the owner of the property proposed to be subdivided;
 - 2. Name of proposed subdivision;
 - 3. Location of the property to be subdivided;
 - 4. Existing zoning of the property to be subdivided;
 - 5. Number and size of proposed subdivided lots;
 - 6. Size of the proposed subdivision;
 - 7. Name and contact information for any engineer or surveyor that have been retained;
 - 8. Proposed water and wastewater systems;
 - 9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems;
 - 10. Proposed streets;
 - 11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance;
 - 12. Description of any physical and environmental site conditions on the property;
 - 13. Stormwater drainage system;
 - 14. Proposed special improvement or maintenance districts;
 - 15. Proposed park land dedication;
 - 16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible (drawing does not need to be to scale);
 - 17. A general vicinity map showing existing streets and north arrow;
 - 18. Existing structures on the property;
 - 19. Existing easements and right-of-ways on the property;
 - 20. Existing and proposed covenants or deed restrictions;
 - 21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion;
 - 22. Types and locations of agricultural water facilities; and
 - 23. Analysis on how the proposed subdivision complies with the City Growth Policy.

Applicable Laws and Regulations

The following are state laws, local regulations, Growth Policy provisions and other documents that may apply to the subdivision review process; this is for informational purposes only per MCA 76-3-504 (1)(q)(ii):

- Montana Code Annotated: including but not limited to Title 76 – Chapter 3
- Administrative Rules of Montana: including but not limited to Title 8, Chapter 94, Sub-chapter 30
- City of Helena City Code: including but not limited to Title 6 Public Utilities
Title 7 Public
Ways Title 11
Zoning, and
Title 12 Subdivision Regulations
- 2011 City of Helena Growth Policy
- Greater Helena Area Transportation Plan – 2004 Update
- 2011 City of Helena Comprehensive Parks, Recreation, and Open Space Plan
- City of Helena Engineering Standards
- South Hills Planning Study – 1985
- Helena West Side Infrastructure Study – 2001

Comment Contact List

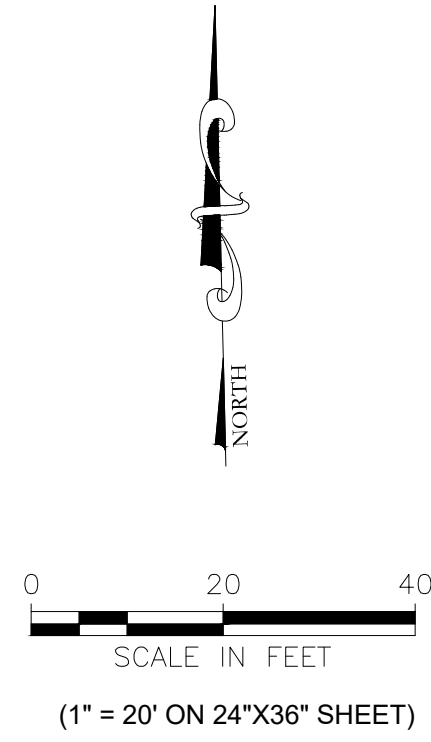
The following entities may be contacted for comments on proposed subdivisions per MCA 76-3-504 (1)(q)(iii). The City requests these entities respond within two (2) weeks of receiving the City's "Request for Comment." Although the City requests that these entities respond within two (2) weeks, they may comment at any time during the subdivision review process. Applications for subdivision review will not be delayed if these entities do not respond within the review period.

- ADA Compliance Committee
- City of East Helena
- City of Helena
- East Helena Public Schools
- Fort Harrison
- Helena Citizen's Council (HCC)
- Helena Regional Airport
- Helena School District
- Helena Valley Irrigation District
- Jefferson County
- Lewis and Clark County
- Lewis and Clark County Water Quality Protection District
- Lewis and Clark County Soil Conservation District
- Montana Department of Environmental Quality
- Montana Department of Fish, Wildlife, and Parks
- Montana Department of Natural Resources and Conservation
- Montana Department of Transportation
- Montana Land Reliance
- Montana Natural Heritage Program
- Non-motorized Transportation Advisory Council
- NorthWestern Energy
- St. Peter's Hospital and Ambulance Service
- State Historic Preservation Office
- City-County Heritage Tourism Council
- Three Rivers Communications

- U.S. Army Corps of Engineers
- U.S. Bureau of Land Management
- U.S. Environmental Protection Agency
- U.S. Fish and Wildlife Service
- U.S. Forest Service
- U.S. Geological Survey, Water Resources Division
- U.S. Post Office
- Utility companies including those providing electrical, communication, fiber optic, gas, or other services
- Yellowstone Pipe Line Company

LEGEND

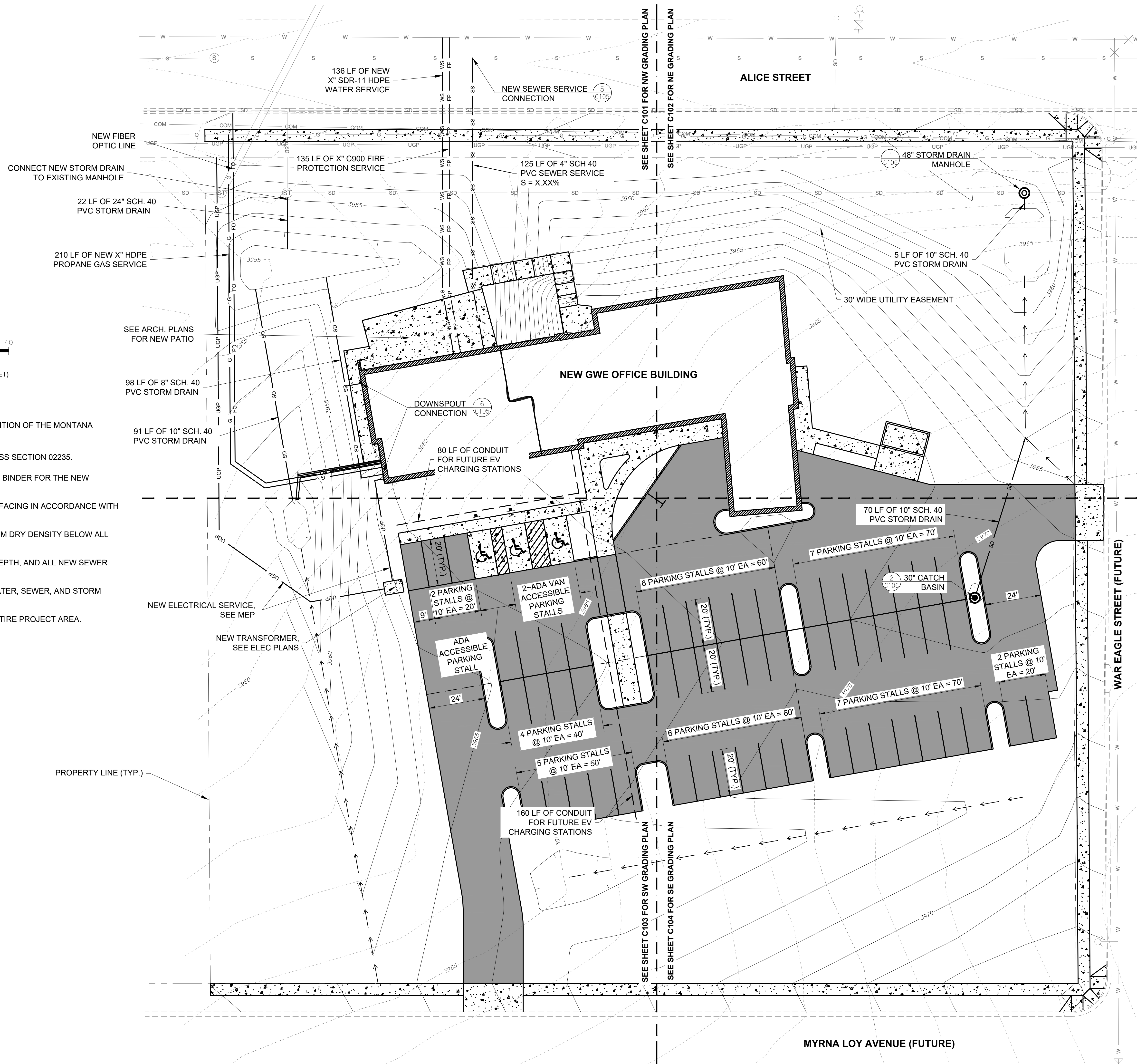
- UGP ——— EXISTING UNDERGROUND POWER LINE
- FO ——— EXISTING FIBER OPTIC LINE
- S ——— EXISTING SEWER MAIN
- SD ——— EXISTING STORM DRAIN
- W ——— EXISTING WATER MAIN
- G ——— EXISTING GAS LINE
- - - - - EXISTING PROPERTY LINE
- UGP ——— NEW UNDERGROUND POWER LINE
- FO ——— NEW FIBER OPTIC LINE
- SS — SS — NEW SEWER SERVICE
- SD — SD — NEW STORM DRAIN
- WS — WS — NEW WATER SERVICE
- G ——— NEW GAS LINE
- [Pattern] — NEW CONCRETE
- [Pattern] — NEW ASPHALT



CONSTRUCTION NOTES

1. ALL SITE WORK SHALL MEET THE REQUIREMENTS OF THE SEVENTH EDITION OF THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS (MPWSS).
2. UTILIZE $\frac{3}{4}$ "-MINUS CRUSHED BASE COURSE IN ACCORDANCE WITH MPWSS SECTION 02235.
3. UTILIZE TYPE B SURFACE COURSE AGGREGATE AND PG 58-28 ASPHALT BINDER FOR THE NEW ASPHALT PAVEMENT IN ACCORDANCE WITH MPWSS SECTION 02510.
4. UTILIZE 4000 PSI CONCRETE FOR NEW SIDEWALK AND CONCRETE SURFACING IN ACCORDANCE WITH MPWSS SECTION 03310.
5. COMPACT ALL SUBGRADE, FILL, AND BASE COURSE TO 95% OF MAXIMUM DRY DENSITY BELOW ALL NEW SIDEWALKS, ASPHALT PAVING, AND CONCRETE.
6. ALL NEW WATERLINES SHALL HAVE A MINIMUM OF 6.5 FEET OF BURY DEPTH, AND ALL NEW SEWER LINES SHALL HAVE A MINIMUM OF 4 FEET OF BURY DEPTH.
7. SEE DETAIL 10/C105 FOR THE STANDARD UTILITY TRENCH FOR NEW WATER, SEWER, AND STORM DRAIN LINES.
8. CONTRACTOR RESPONSIBLE FOR ALL UTILITY TRENCHING FOR THE ENTIRE PROJECT AREA.

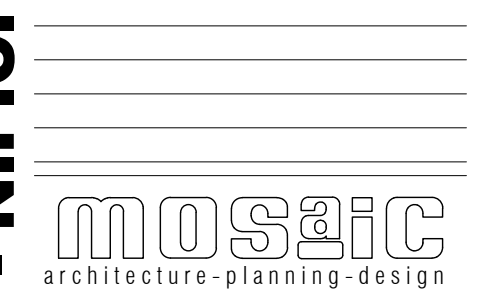
TOTAL EARTHWORK:
CUT = 8,100 CY
FILL = 3,000 CY
(NO SHRINK OR SWELL APPLIED)



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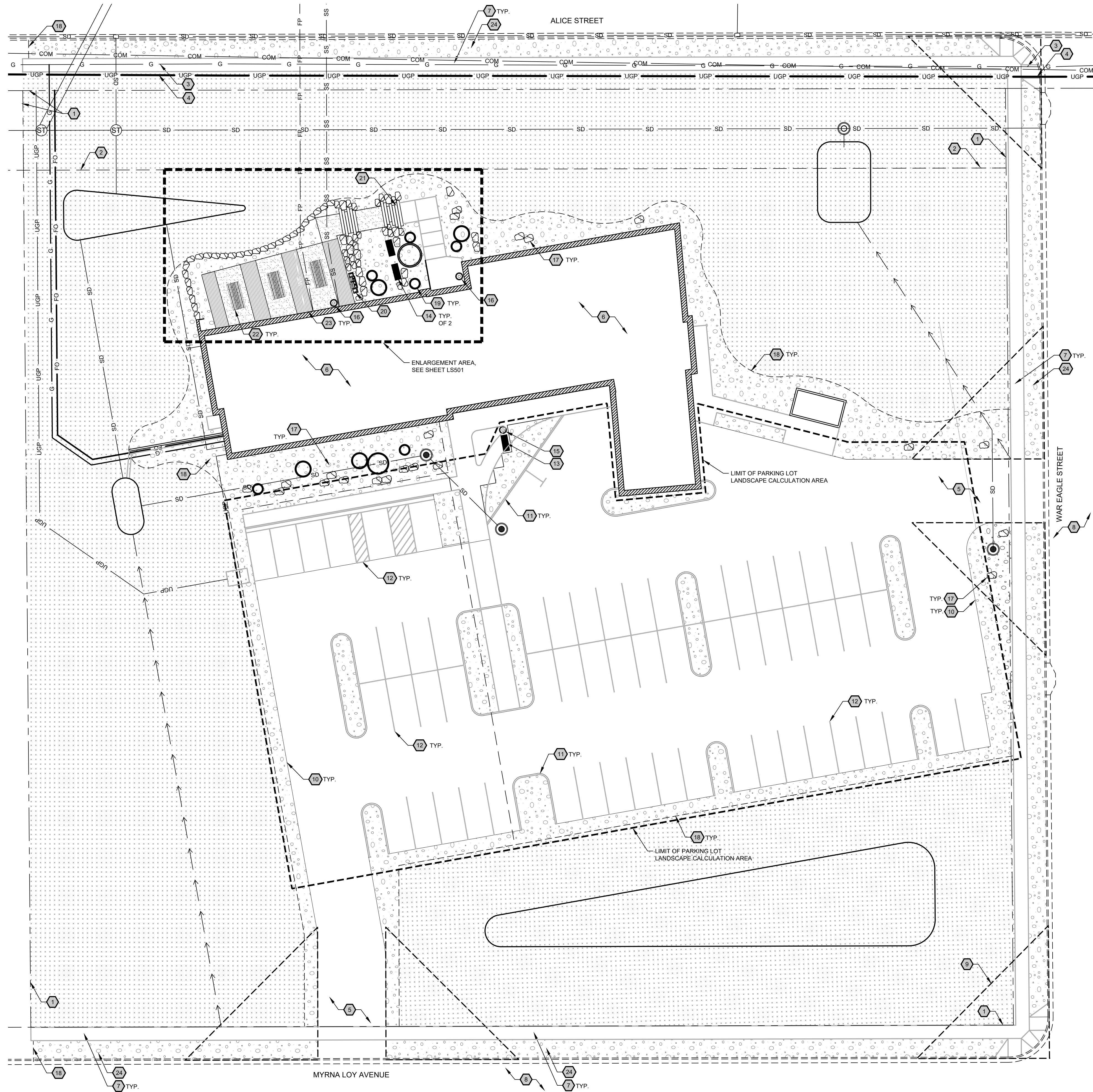
GREAT WEST OFFICE

OVERALL SITE AND UTILITIES PLAN

DATE: 4.1.2024

SHEET: C100

DESIGN DEVELOPMENT - N.F.C.



REFERENCE NOTES SCHEDULE

| SYMBOL | DESCRIPTION | QTY |
|----------|---|-----------|
| 1 | PROPERTY LINE, LOCATION APPROXIMATE - TYP. | |
| 2 | EASEMENT, LOCATION APPROXIMATE. | |
| 3 | EXISTING UNDERGROUND GAS LINE | |
| 4 | EXISTING UNDERGROUND ELECTRIC LINE, LOCATION APPROXIMATE. | |
| 5 | PROPOSED DRIVEWAY, SEE CIVIL PLANS. | |
| 6 | PROPOSED SIDEWALKS, SEE CIVIL PLANS. | |
| 7 | PROPOSED ROADWAY, SEE CIVIL PLANS AND/OR DEVELOPMENT PLANS. | |
| 8 | CLEAR SIGHT TRIANGLE, 50' | |
| 9 | PROPOSED EDGE OF ASPHALT PAVEMENT, SEE CIVIL PLANS. | |
| 10 | CONCRETE PAVEMENT EDGE PROTECTION, SEE CIVIL PLANS. | |
| 11 | PROPOSED PARKING LOT STRIPING, SEE CIVIL PLANS. | |
| 12 | FURNISH AND INSTALL 6" DUMOR MODEL 93-60 BENCH. COLOR: CHARCOAL TEXTURED GLOSS. | 3 |
| 13 | ALTERNATE: FURNISH AND INSTALL 6" DUMOR MODEL 93-60 BENCH. COLOR: CHARCOAL TEXTURED GLOSS. | |
| 14 | FURNISH AND INSTALL 32 GAL. DUMOR MODEL 157-32 RECEPTACLE. COLOR: CHARCOAL TEXTURED GLOSS. | 3 |
| 15 | ALTERNATE: FURNISH AND INSTALL 32 GAL. DUMOR MODEL 157-32 RECEPTACLE. COLOR: CHARCOAL TEXTURED GLOSS. | |
| 16 | LANDSCAPE BOULDERS, SIZE VARIES. | |
| 17 | STEEL EDGING. | 964 LF |
| 18 | ALTERNATE: CULVERT RAISED PLANTER, SEE IMAGES SHEET LS502. | |
| 19 | PORTABLE GRILL, FURNISHED AND INSTALLED BY OWNER. | |
| 20 | STONE SLAB STAIRS | |
| 21 | CUSTOM OUTDOOR LONG TABLE, SEE IMAGES SHEET LS502. | |
| 22 | ALTERNATE: STORMWATER DRAINAGE AMENITY, SEE IMAGE SHEET, LS502. INSTALL STANDARD CONCRETE PAVING IF ALTERNATE IS NOT ACCEPTED. | |
| 23 | BOULEVARD LANDSCAPE AREA, SEE LANDSCAPE REQUIREMENTS AND CALCULATIONS, THIS SHEET. | |
| 24 | | |
| SYMBOL | DESCRIPTION | QTY |
| [Symbol] | INSTALL GRAVEL MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. GRAVEL MULCH SHALL BE 1-1/2" NORTH HILL GOLD, AS AVAILABLE FROM VALLEY SAND AND GRAVEL (406) 449-4045, OR APPROVED EQUAL. | 21,375 SF |
| [Symbol] | HYDROSEED ALL DISTURBED AREAS WITH NATIVE REVEGETATION SEEDING AS NECESSARY. AREA INDICATED IS MAXIMUM, AND FOR REFERENCE ONLY. CONTRACTOR TO LIMIT DISTURBANCE OF EXISTING SITE TO GREATEST EXTENT POSSIBLE. | 70,893 SF |
| [Symbol] | CONSTRUCT 4" THICK CONCRETE PAVING. | 853 SF |

CITY OF HELENA LANDSCAPE REQUIREMENTS

- ALL REQUIREMENTS TAKEN FROM CITY OF HELENA CODE 7-10, CODE 11-24, AND CITY OF HELENA ARBORICULTURAL SPECIFICATION AND STANDARDS - SECTION 9.
- 7-10-5 BOULEVARD LANDSCAPING AND TREES:**
- BOULEVARDS MUST BE PLANTED AS SPECIFIED IN THE HELENA ARBORICULTURAL STANDARDS.
 - LANDSCAPING SHALL CONTAIN NO LESS THAN 60% LIVE VEGETATIVE COVER (INCLUDING LAWN, TREES, SHRUBS, GROUNDCOVERS, AND PERENNIALS). IF VEGETATIVE COVER DOES NOT REQUIRE SUPPLEMENTAL IRRIGATION ONCE ESTABLISHED, THE PERCENTAGE OF COVER REQUIREMENT MAY BE REDUCED TO 50%. UTILIZE THE PROJECTED DRIP LINE OF PLANT MATERIALS FIVE YEARS OF AGE IN CALCULATING COVERAGE REQUIREMENTS.
 - LANDSCAPING MAY NOT CREATE ANY UNSAFE CONDITION FOR THE PUBLIC UTILIZING THE RIGHT OF WAY.
 - BOULEVARD TREES MUST BE PLANTED WITHIN 18 MONTHS FROM THE DATE THE CERTIFICATE OF OCCUPANCY OF THE PRIMARY STRUCTURE ON THE ADJACENT PROPERTY.
 - A TREE PERMIT IS REQUIRED FROM CITY OF HELENA URBAN FORESTRY PRIOR TO PLANTING.
 - ONLY TREES THAT COMPLY WITH CITY OF HELENA ARBORICULTURAL STANDARDS MAY BE PLANTED.
 - THE ABUTTING PROPERTY OWNER IS REQUIRED TO MAINTAIN BOULEVARD LANDSCAPING (INCLUDING TREES) BY WATERING, FERTILIZING, AND PERFORMING MINOR PRUNING ACCORDING TO THE CITY OF HELENA ARBORICULTURAL STANDARDS.

CITY OF HELENA ARBORICULTURAL STREET TREE REQUIREMENTS:

- ALL BOULEVARD TREES SHALL BE SELECTED FROM THE APPROVED LIST. ANY TREES NOT ON APPROVED LIST MUST BE APPROVED THROUGH THE PERMIT PROCESS.
- CLASS II TREES ARE REQUIRED FOR ALL PLANTING AREAS 3' TO 8' IN WIDTH.
- CLASS II TREES SHALL BE SPACED AT APPROXIMATELY 30'-40' ON CENTER.
- ALL PLANTING WORK SHALL COMPLY WITH ANSI A300 PART 6 - PLANTING AND TRANSPORTING STANDARDS.

11-24-4 PARKING LOT LANDSCAPING:

- PROVIDE 30 SF OF LANDSCAPE AREA PER VEHICLE PARKING SPACE WITHIN THE BOUNDARIES OF THE PARKING LOT.
- ANY EDGE OF PARKING SPACE MUST BE WITHIN 35' OF TREE TRUNK (INCLUDES TREES DESIGNATED FOR SCREENING AND STREET TREES).

11-24-5 SCREENING:

- DOES NOT APPLY, ALL ADJACENT PROPERTIES ARE ZONED FOR COMMERCIAL USE.

11-24-6 GENERAL LANDSCAPING AND PARKING LOT LANDSCAPE STANDARDS:

- LANDSCAPING SHALL CONTAIN NO LESS THAN 60% LIVE VEGETATIVE COVER (INCLUDING TREES, SHRUBS, GROUNDCOVERS, AND PERENNIALS). IF VEGETATIVE COVER DOES NOT REQUIRE SUPPLEMENTAL IRRIGATION ONCE ESTABLISHED, THE PERCENTAGE OF COVER REQUIREMENT MAY BE REDUCED TO 50%. UTILIZE THE PROJECTED DRIP LINE OF PLANT MATERIALS FIVE YEARS OF AGE IN CALCULATING COVERAGE REQUIREMENTS.
- WHERE SPACE IS AVAILABLE, ADDITIONAL TREES MUST BE PLANTED AT NO GREATER THAN 30' ON CENTER WITHIN PARKING LOT BOUNDARIES.
- ALL TREES MUST REACH A MINIMUM HEIGHT OF 20' AT MATURITY, AND BE A MINIMUM OF 1-1/2" CALIPER AT TIME OF PLANTING.
- EVERGREEN TREES SHALL BE A MINIMUM OF 5' IN HEIGHT AT TIME OF PLANTING.
- TREES EXPECTED TO REACH 30' IN HEIGHT OR LESS MUST BE LOCATED IN PLANTING AREAS NO LESS THAN 20 SQUARE FEET.
- TREES EXPECTED TO EXCEED 30' IN HEIGHT MUST BE LOCATED IN PLANTING AREAS NO LESS THAN 48 SQUARE FEET.
- ANY TREE PLANTED WITHIN 2' OF ANY PARKING SPACE EDGE MUST BE PROTECTED FROM DAMAGE BY VEHICLES BY UTILIZING BARRIERS SUCH AS CURB STOPS, TREE GUARDS, OR OTHER TYPE OF OBSTRUCTION.

DEVELOPMENT STANDARDS:

- NO MORE THAN 50% OF THE LANDSCAPE AREAS CAN CONSIST OF ANY TYPE OF NON LIVING "MULCH PRODUCT" AFTER A THREE-YEAR GROWTH ESTABLISHMENT PERIOD.
- ALL PARKING LOTS AT CROSSROADS COMMERCIAL CENTER WILL BE REQUIRED TO PROVIDE PARKING LOT SCREENING REGARDLESS OF ADJACENT LOT USAGE. A MINIMUM 3' IN HEIGHT AND 70% SUMMER VEGETATION OPACITY IS REQUIRED. SCREENING MAY BE PROVIDED BY LANDSCAPE PLANTINGS, FENCING, WALLS, OR A COMBINATIONS.
- LOTS FROM 22,000 SF TO 10-ACRES - REQUIRE 12% OF THE TOTAL AREA TO BE LANDSCAPED.

COMPLIANCE CALCULATIONS:

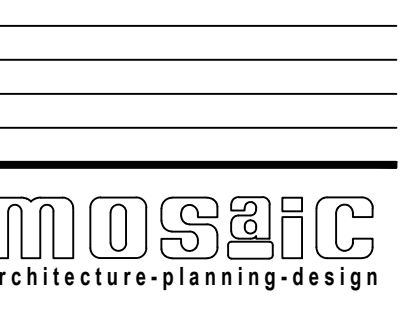
- 207 LF OF STREET FRONTAGE (EXCLUDING DRIVEWAYS AND VISION TRIANGLES) ALONG MYRNA LOY AVENUE / 40 = 6 TREES REQUIRED, 6 PROVIDED.
- 161 LF OF STREET FRONTAGE (EXCLUDING DRIVEWAYS) ALONG WAR EAGLE STREET / 40 = 5 TREES REQUIRED, 5 PROVIDED.
- 330 LF OF STREET FRONTAGE (EXCLUDING DRIVEWAYS) ALONG ALICE STREET / 40 = 9 TREES REQUIRED, 10 PROVIDED.
- 60 PARKING SPACES PROVIDED X 30 SF OF PLANTING AREA = 1,800 SF OF REQUIRED PLANTING AREA WITHIN PARKING LOT. 6,436 SF PROVIDED.
- PARKING: 6,436 SF. PARKING LOT LANDSCAPE AREA PROVIDED = 3,995 SF (5,743 PROVIDED 71%).
- BOULEVARD: 8,670 SF. PARKING LOT LANDSCAPE AREA PROVIDED = 5,202 SF (5,189 PROVIDED 60%).
- TOTAL LOT SIZE - 150,622 SF. 12% OF TOTAL AREA - 18,075 SF IS REQUIRED TO BE LANDSCAPED. 23,832 SF PROVIDED (PLANTING BEDS AND TURF AREAS, 15.8%).

NOT FOR CONSTRUCTION UNLESS STAMPED AND SIGNED

CITY STAMP



DATE REVISION



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59601

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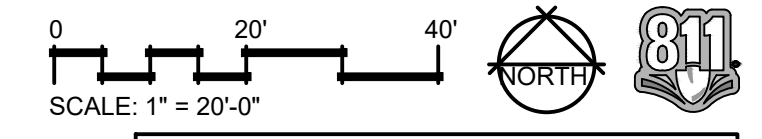
Landscape Site Plan

DATE: 04.01.2024

SHEET: LS101

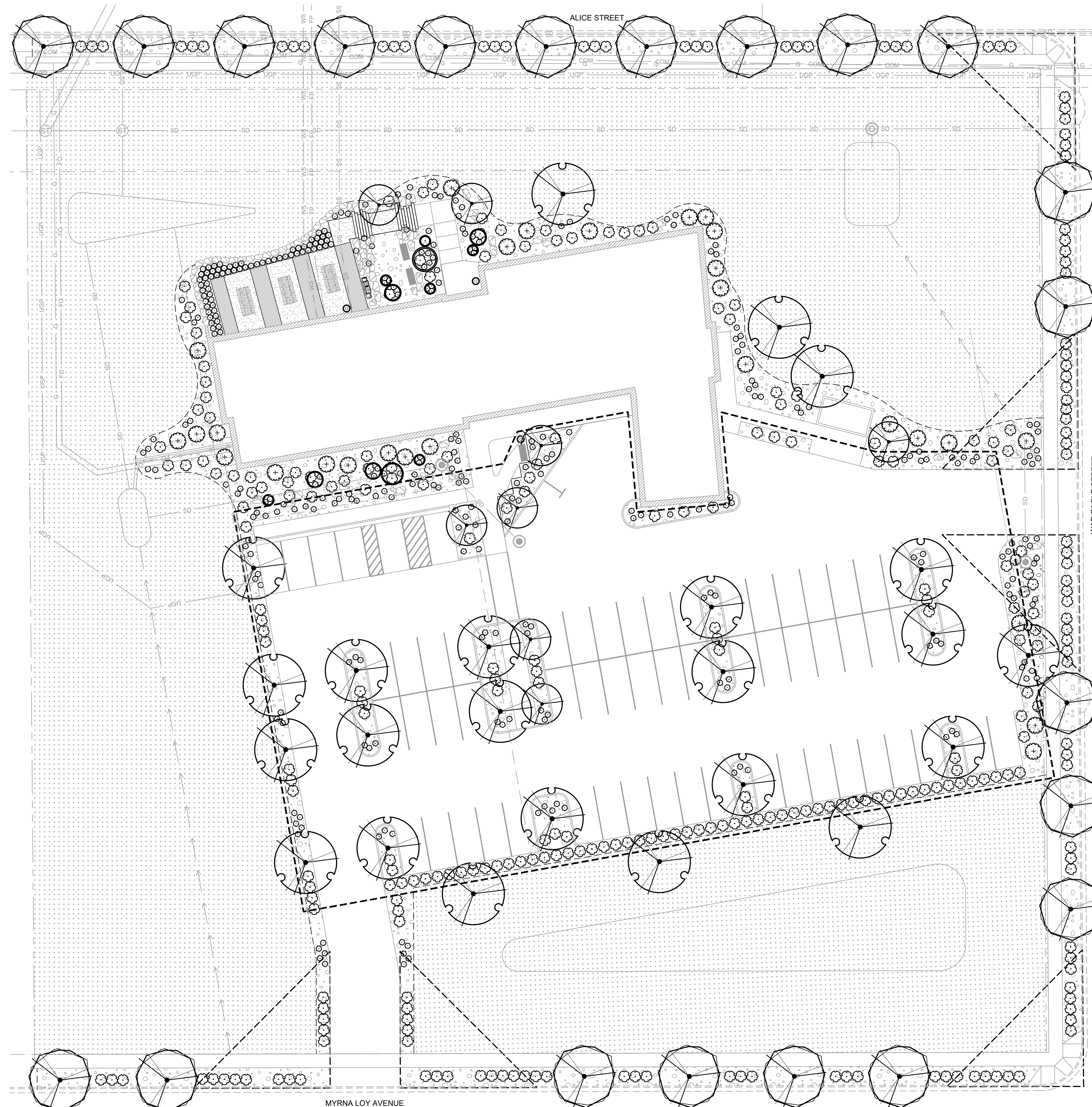
DESIGN DEVELOPMENT - N.F.C.

A LANDSCAPE SITE PLAN
SCALE: AS SHOWN









SEE SHEET LS502 FOR PATIO SPACE CONCEPT SKETCH AND LANDSCAPE SITE IMAGERY EXAMPLES.

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CONCEPT PLANT SCHEDULE

- 
BOULEVARD TREE - MEDIUM (30" DIA.) 21
 GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST
 TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN
- 
PARKING LOT TREE - MEDIUM (30" DIA.) 23
 MALUS X SPRING SNOW / SPRING SNOW CRABAPPLE
 PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOKECHERRY
- 
INTERIOR TREE - SMALL (20" DIA.) 8
 ACER GINNALA 'RUBY SLIPPERS' / RUBY SLIPPERS AMUR MAPLE
 CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN
- 
LARGE SHRUBS 28
 BERBERIS THUNBERGII 'SMBT J' / GOLDEN JACKPOT® JAPANESE BARBERRY
 CORNUS ALBA 'BAIHALO' / IVORY HALO® TATARIAN DOGWOOD
 DAPHNE X TRANS-ANTANTICA 'BLAFFRA' / ETERNAL FRAGRANCE DAPHNE
 ILEX GLABRA 'SHAMROCK' / SHAMROCK INK BERRY HOLLY
 PINUS MUGO 'PUMILIO' / DWARF MUGO PINE
 RHODODENDRON X 'P.J.M.' / P.J.M. RHODODENDRON
 SALIX INTEGRIFLORA 'FLAMINGO' / FLAMINGO WILLOW
 SYRINGA PUBESCENS PATULA 'MISS KIM' / MISS KIM KOREAN LILAC
- 
SMALL SHRUBS / PERENNIALS 316
 ACHILLEA MILLEFOLIUM 'DESVEL' / DESERT EVE™ YELLOW COMMON YARROW
 ALLIUM X 'MEDUSA' / MEDUSA ORNAMENTAL ONION
 ASTILBE CHINENSIS 'VISION IN PINK' / VISION IN PINK CHINESE ASTILBE
 ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
 HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY
 HEUCHERA X 'TNEHEFP' / FOREVER® PURPLE CORAL BELLS
 PEROVSKIA ATRIPLICIFOLIA 'LISSLITT' / LACEY BLUE RUSSIAN SAGE
- 
MEDIUM SHRUBS 312
 CORNUS ALBA 'ELEGANTISSIMA' / SILVEREDGE TATARIAN DOGWOOD
 FESTUCA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE
 ILEX GLABRA 'SHAMROCK' / SHAMROCK INK BERRY HOLLY
 MAHONIA AQUILIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE
 PHYSCARPUS OPULIFOLIUS 'HOOGI021' / LITTLE JOKER® NINEBARK
 TAXUS X MEDIA 'HICKSII' / HICKS' YEW
 WEIGELA FLORIDA 'WFM0BLA' / COCO KRUNCH® WEIGELA

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59601

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GREAT WEST OFFICE

Landscape Planting Plan

DATE: 04.01.2024

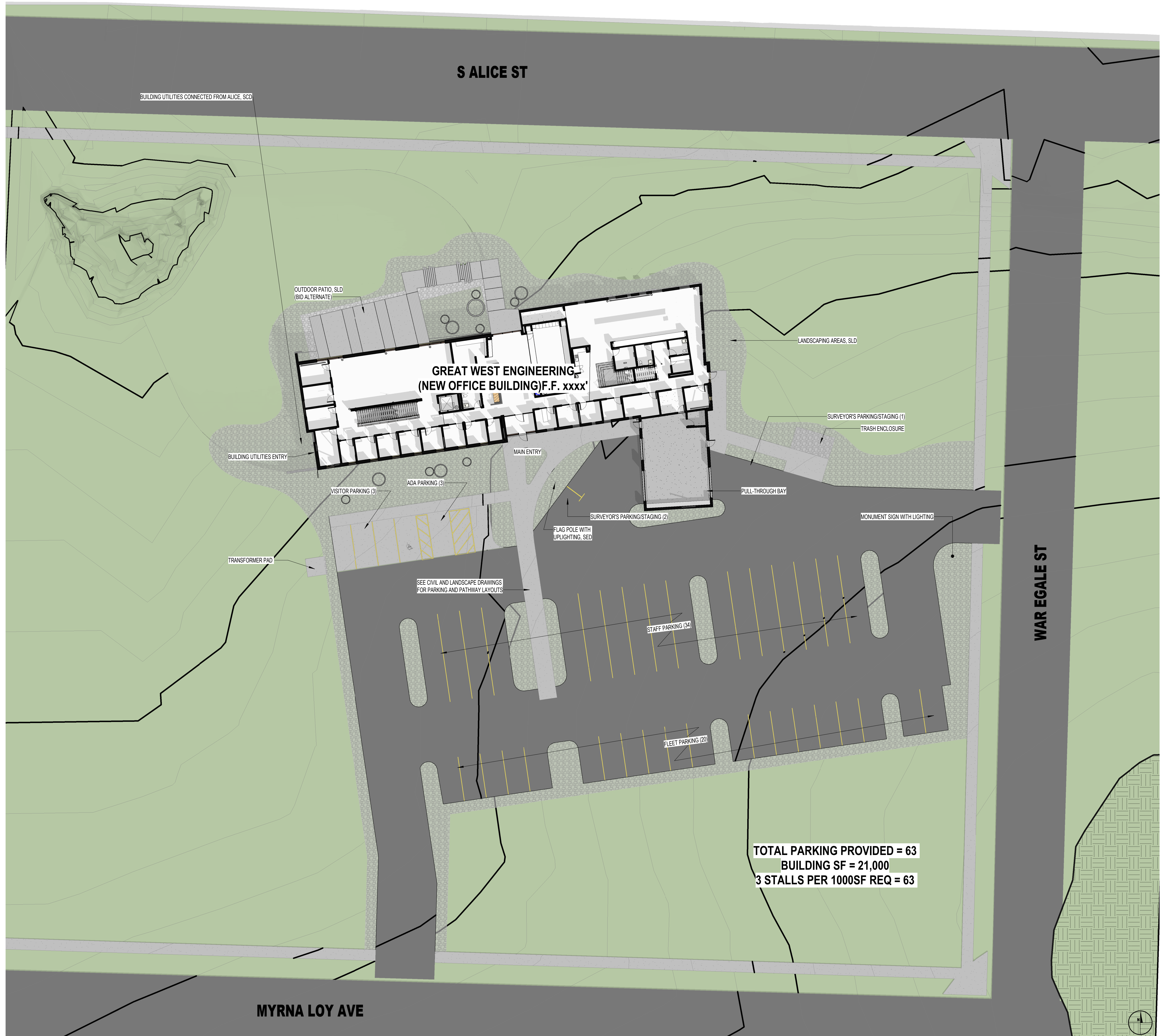
SHEET: **LP101**

A LANDSCAPE PLANTING PLAN
SCALE: AS SHOWN



DATE STAMP: 2/28/2024 1:05:30 PM

DESIGN DEVELOPMENT - N.F.C.



- GENERAL SITE PLAN NOTES**
1. DETERMINE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DEMO, EXCAVATION OR PLANTING. MAINTAIN 10' MIN DISTANCE FROM ALL TREES TO UTILITY LINES.
 2. PROTECT ALL EXISTING ITEMS/SURFACES TO REMAIN. EXISTING ELEMENTS DAMAGED DURING CONSTRUCTION TO BE REPAIRED OR REPLACED BY CONTRACTOR AS DIRECTED BY THE ARCHITECT AT NO COST TO OWNER.
 3. PROTECT EXISTING TREES WITH TEMPORARY CONSTRUCTION FENCE LOCATED 3 FEET OUTSIDE DRIP LINE. PROTECT OVERHANGING LIMBS FROM DAMAGE AS REQUIRED.
 4. SITE GRADING IS BASED ON FINISH FLOOR ELEVATION OF 100.00 IS EQUAL TO SITE GRADE OF ###.# FEET

TOTAL PARKING PROVIDED = 63
BUILDING SF = 21,000
3 STALLS PER 1000SF REQ = 63

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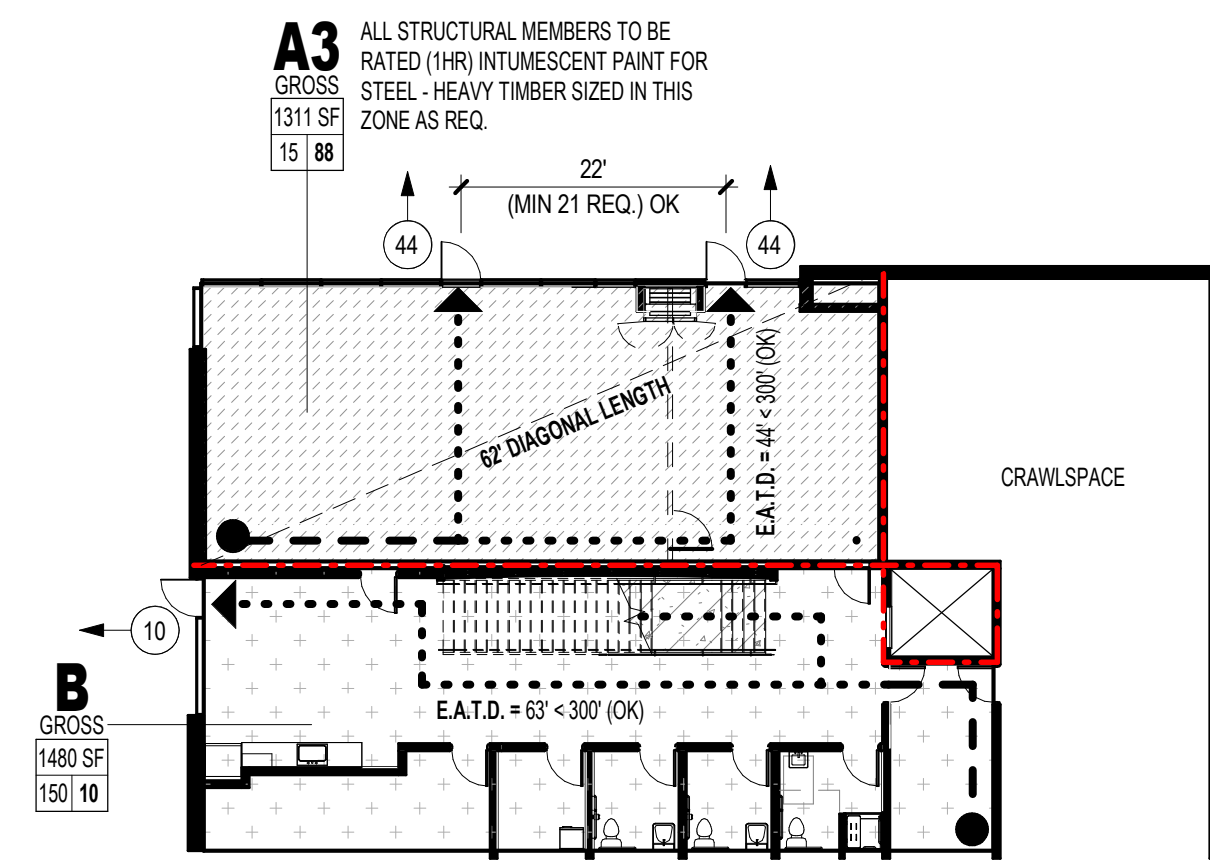
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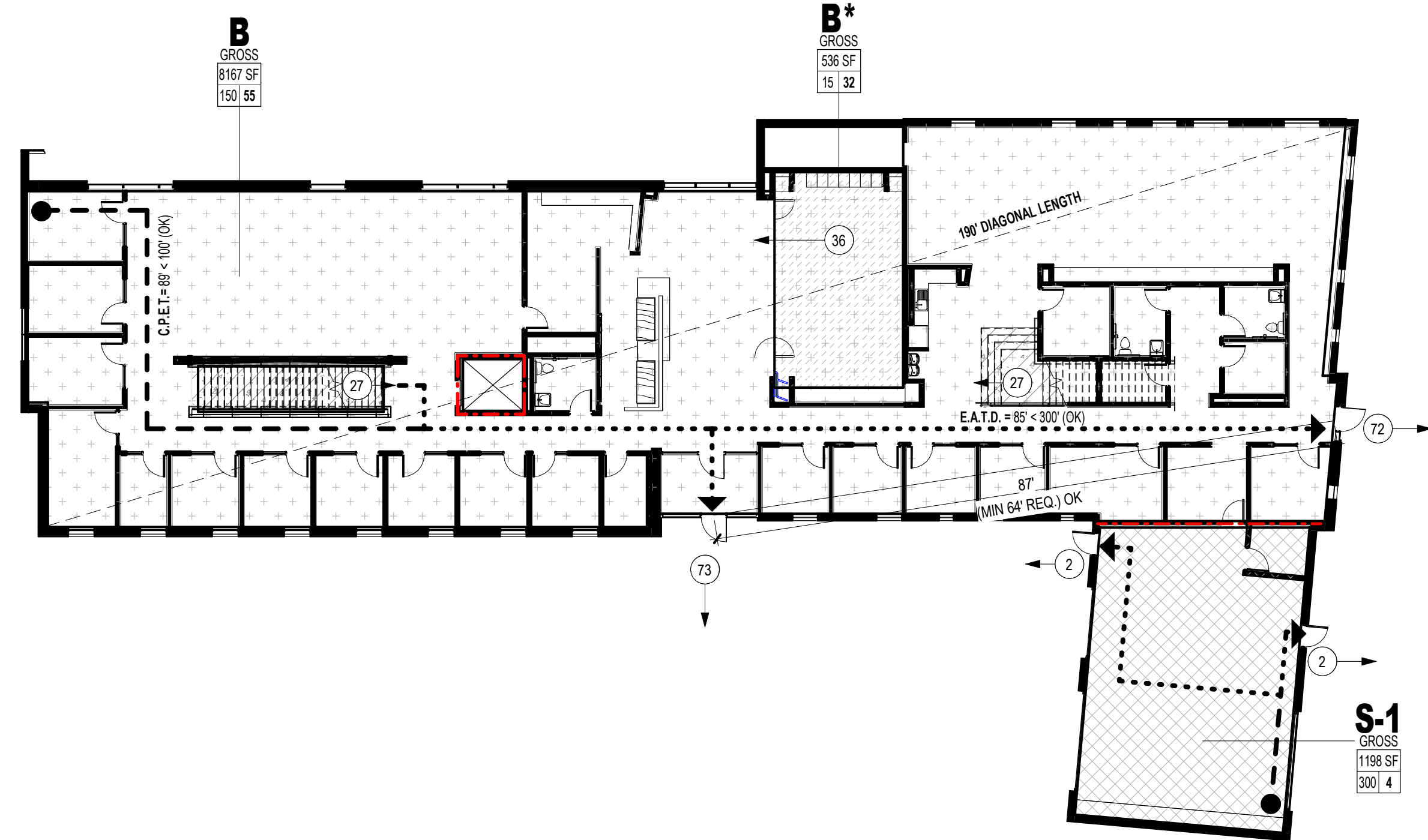
GREAT WEST OFFICE

SITE PLAN
 DATE: 03.01.2024

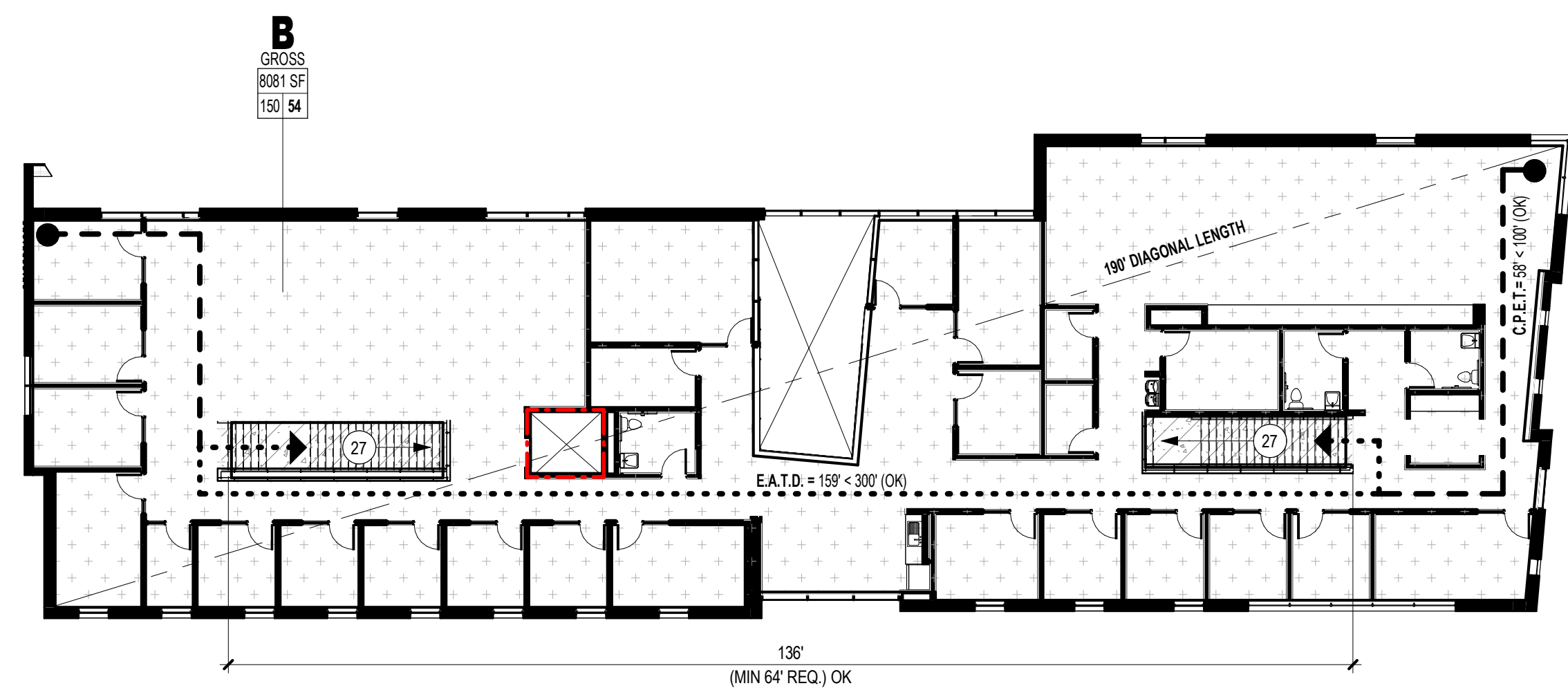
DESIGN DEVELOPMENT - N.F.C.



1 LEVEL 0 - CODE PLAN
1/16" = 1'-0"



2 LEVEL 1 CODE PLAN
1/16" = 1'-0"



3 LEVEL 2 - CODE PLAN
1/16" = 1'-0"

APPLICABLE BUILDING CODES

- THIS PROJECT SHALL COMPLY WITH THE LATEST EDITION OF CODES ADOPTED BY THE STATE OF MONTANA:
- 2021 International Building Code (IBC)
 - 2021 International Mechanical Code (IMC)
 - 2021 International Fuel Gas Code (IFGC)
 - 2021 International Plumbing Code (IPC)
 - 2020 National Electrical Code (NEC)
 - 2012 International Fire Code (IFC)
 - 2021 International Energy Conservation Code (IECC)

CODE PLAN LEGEND

- OCUPANCY GROUP B AREA**
- OCUPANCY GROUP B WITH ACCESSORY SMALL ASSEMBLY SPACE WITH OCCUPANT LOAD <50 OR AREA <750 SF, CLASSIFIED AS PART OF GROUP B OCCUPANCY PER 303.1.2**
- INCIDENTAL USE** - W/ REQUIRED SEPARATION PER TABLE 509.1. SHALL NOT OCCUPY >10% OF FLOOR AREA OF STORY IN WHICH LOCATED, AND IS CALCULATED AS PART OF OCCUPANCY IN WHICH IT IS LOCATED.
- ACCESSORY OCCUPANCY AREA** - W/ NO SEPARATION REQUIRED AND CALCULATED AS PART OF MAIN OCCUPANCY IF TOTAL ACCESSORY OCCUPANCIES WITHIN A STORY OCCUPY LESS THAN 10% OF AREA OF THAT STORY. PER SECTION 508.2.3.
- ROOM NAME** - ROOM AREA, OCCUPANT LOAD, MAX. FLOOR AREA PER OCCUPANT FROM TABLE 1004.5
- 1-HOUR FIRE WALL, FIRE BARRIER, FIRE PARTITION, OR SMOKE BARRIER WALL** - OR COMBINATION OF (WHERE OCCURS) CONFORMING TO THE MOST STRINGENT REQUIREMENTS OF EACH. SEE CODE ANALYSIS PLANS FOR SPECIFIC NAMES OF IBC WALL DESIGNATIONS. ALL WITH FIRE-RESISTIVE OPENING PROTECTION AT DOORS, WINDOWS, DUCTS (WITH EXCEPTIONS), PENETRATIONS, AND PROTECTION AT JOINTS. SEE WALL TYPES, DOOR AND WINDOW SCHEDULES, MECHANICAL DRAWINGS, PENETRATION DETAILS, AND JOINT DETAILS WHERE APPLICABLE.
- NONRATED WALL** - WITH NO OPENING PROTECTION REQUIRED AT DOORS, WINDOWS, DUCTS, PENETRATIONS, AND JOINTS UON. SEE WALL TYPES.
- MEANS OF EGRESS REQUIRED (QUANTITY)** - ONLY DESIGNATED WHERE (2) MEANS OF EGRESS ARE REQUIRED, PER §1006.2.1.
- EXIT SIGN** W/ INTEGRATED DIRECTIONAL ARROW WHERE OCCURS AT ALL EXITS, EVERY 100' IN CORRIDORS, AND IN SPACES WHERE 2 MEANS OF EGRESS ARE REQUIRED PER § 1006. SEE ELECTRICAL DRAWINGS. (W/ POCHES IN QUADRANT INDICATING "EXIT" TEXT SIDE OF SIGN). SIGNS SHOWN IN CORRIDORS ARE CEILING HUNG. SIGNS SHOWN ON WALL ARE WALL HUNG.
- REQUIRED EXIT AND EXIT EGRESS DIRECTION** WITH ACCUMULATIVE NUMBER OF OCCUPANTS SERVED. (DESIGNATED WHERE (2) MEANS OF EGRESS ARE REQUIRED PER TABLE §1006.2.1)
- MINIMUM EGRESS WIDTH (INCHES)** BASED ON ACCUMULATIVE NUMBER OF OCCUPANTS SERVED AT INDICATED EGRESS COMPONENT, PER SECTION 1005.3. 3 INCHES/OCC FOR STAIRWAYS(NONSPRINKLERED BUILDINGS); 2 INCHES/OCC FOR OTHER EGRESS COMPONENTS (NONSPRINKLERED BLDGS).
- EXIT ACCESS TRAVEL DISTANCE (E.A.T.D.)** - MAXIMUM 200' FOR 'B' OCCUPANCY W/OUT SPRINKLER SYSTEM, PER TABLE 1017.2. MAXIMUM DISTANCE FOR EACH STORY SHOWN.
- COMMON PATH OF EGRESS TRAVEL (C.P.E.T.)** - MAXIMUM 75' FOR 'B' OCCUPANCY W/OUT SPRINKLER SYSTEM, OCC LOAD >30, PER TABLE 1006.2.1.
- PORTABLE CLASS ABC FIRE EXTINGUISHER** IN ADA-COMPLIANT SEMI-RECESSED CABINET

PLUMBING FIXTURE COUNTS

(PER ADMINISTRATIVE RULES OF MONTANA 24.301.351)
OCCUPANT LOAD B = 109
*OCCUPANT LOAD A3 IS FROM BUILDING OCCUPANT LOAD USE

| BUSINESS | FIXTURE TYPE | FIXTURES REQUIRED | NO. OCC. | TOTAL REQUIRED | FIXTURES PROVIDED |
|-------------|---------------|-------------------|----------|----------------|-------------------|
| BUSINESS | WC, MALE: | 1.25 | 55 | 3 | 4 WC (UNISEX) |
| | WC, FEMALE: | 1.25 | 55 | 3 | 5 WC (UNISEX) |
| LAVS, MALE: | 1 PER 2 WC | | | 1 | 4 |
| | LAVS, FEMALE: | 1 PER 2 WC | | 1 | 5 |
| | DF: | 0 | | 0 | 2 |

*PER ADMINISTRATIVE RULES OF MONTANA 24.301.351 FOOTNOTE M, WHERE URINALS ARE PROVIDED, NOT WITHSTANDING THE REQUIRED URINAL IN FOOTNOTE G ABOVE, ONE WATER CLOSET LESS THAN THE NUMBER SPECIFIED MAY BE PROVIDED FOR EACH URINAL INSTALLED, EXCEPT THE NUMBER OF WATER CLOSETS IN SUCH CASES SHALL NOT BE REDUCED TO LESS THAN ONE-HALF OF THE MINIMUM SPECIFIED.

REQUIRED SPECIAL INSPECTIONS:

IN ADDITION TO REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTIONS AND TESTING IN ACCORDANCE WITH SECTIONS 1704 AND 1705 OF THE 2018 INTERNATIONAL BUILDING CODE. SEE STRUCTURAL FOR SPECIFIC REQUIREMENTS. COPIES OF 3RD PARTY REPORTS TO BE SENT TO BUILDING DEPARTMENT & COPIES KEPT ON-SITE FOR INSPECTOR REVIEW.

- SPECIAL INSPECTIONS:
 - INSPECTION OF FABRICATORS (1704.2.5)
 - STEEL CONSTRUCTION (1705.2)
 - CONCRETE CONSTRUCTION (1705.3)
 - MASONRY CONSTRUCTION (1705.4)
 - WOOD CONSTRUCTION (1705.5)
 - SOILS (1705.6)
 - SPECIAL CASES (1705.1.1)
 - EPOXY SET ANCHORS
 - POWDER-ACTUATED FASTENERS
 - CONCRETE EXPANSION ANCHORS
- SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE (1705.12):
 - STRUCTURAL STEEL (1705.12.1)
 - STRUCTURAL WOOD (1705.12.2)
 - COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION (1705.12.3)

SUMMARY CODE REVIEW

SEE CODE ANALYSIS PLANS THIS SHEET.

PROJECT DESCRIPTION: NEW CONSTRUCTION OF OFFICE BUILDING ON A NEW DEVELOPED SITE.

- OCCUPANCY GROUPS:** (CHAPTER 3)
- B - BUSINESS
 - S-1 - MODERATE HAZARD STORAGE
 - ACCESSORY OCCUPANCIES PER SEC. 508.2 WHERE OCCUR.
 - INCIDENTAL USES PER TABLE 509 WHERE OCCUR.
 - A3 - CONFERENCE/TRAINING SPACE FOR BUILDING OCCUPANTS

NONSEPARATED OCCUPANCIES: (SEC. 508.3.2)

THIS MIXED OCCUPANCY BUILDING INCORPORATES NONSEPARATED OCCUPANCIES. NO OCCUPANCY SEPARATIONS ARE PROVIDED, AND THE ALLOWABLE AREA AND HEIGHT OF THE BUILDING IS BASED ON THE REQUIREMENTS OF THE MOST RESTRICTIVE OCCUPANCY.

CONSTRUCTION TYPE: (TABLE 601)

TYPE VB - SPRINKLERED

ALLOWABLE FLOOR AREA (A4): (TABLE 508.2 SPRINKLERED)

B: 27,000 SF
A3: 24,000 SF
S-1: 36,000 SF

ACTUAL FLOOR AREA:

LEVEL 0: 2,791 SF
LEVEL 1: 9,903 SF
LEVEL 2: 8,081 SF
20,775 SF <27,000 ALLOWABLE: OK

ALLOWABLE NO. OF STORIES / HEIGHT: (TABLE 504.4/504.3)

B: 3 STORIES / 60 FT (SPRINKLERED)

ACTUAL NO. OF STORIES / HEIGHT: 3 STORY / 43 FT (AT LEVEL 0): OK

INTERIOR FINISH REQUIREMENTS: (TABLE 803.13)

INTERIOR EXIT STAIRWAYS, EXIT RAMPS & EXIT PASSAGEWAYS: CLASS A CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS & EXIT ACCESS RAMPS: CLASS B. ROOMS AND ENCLOSED SPACES: CLASS C

OCCUPANT LOADS FOR EGRESS DESIGN: (SEC. 1004 + TABLE 1004.5)

SEE CODE ANALYSIS PLAN. OCCUPANT LOADS BASED ON MAX. FLOOR AREA IN SQ FT PER OCCUPANT FROM TABLE 1004.5.

ASSEMBLY - UNCONCENTRATED: 15 NET
BUSINESS: 150 GROSS
STORAGE/MECHANICAL EQUIPMENT: 300 GROSS

OCCUPANT LOAD BY FLOOR:

LEVEL 0: 98
LEVEL 1: 91
LEVEL 2: 54
TOTAL: 243

EGRESS WIDTH PER OCCUPANT SERVED: (SEC. 1005.3)

STAIRWAYS: 0.3 INCHES / OCCUPANT
OTHER EGRESS COMPONENTS: 0.2 INCHES / OCCUPANT

EGRESS WIDTH MINIMUMS BY COMPONENT / USE WHERE EXCEED MINIMUMS BY OCCUPANT LOAD:

44" AT STAIRWAYS (38" WHERE OCC LOAD <50) IBC §1011.2;
32" CLEAR AT DOORS (§1010.1.1);
44" AT CORRIDORS, AISLES & EXIT PASSAGEWAYS (36" for occupant load <50) (§ 1020.2, 1019.3, 1018.5, 1024.2 RESPECTIVELY) PROVIDED.

OPENING PROTECTIVES: (TABLE 716.1(2))

(TABLE 716.1(3))

1-HR FIRE PARTITIONS (CORRIDOR WALLS):
FIRE DOOR RATING: 20 MINUTE
DOOR WINDOW PANEL GLAZING MARKING: D-20
SIDELIGHT/TRANSOM ASSEMBLY MARKING: DH-OH-20
FIRE WINDOW ASSEMBLY RATING: 45 MINUTE
WINDOW ASSEMBLY MARKING: OH-45 OR W-60

TYPE OF CONSTRUCTION

(CHAPTER 6) CONSTRUCTION TYPE V-B; GROUP S-1 OCCUPANCY

FIRE-RESISTANCE RATING REQUIREMENTS

| BUILDING ELEMENT | RATING |
|---|--------------------------------|
| TABLE 601 STRUCTURAL FRAME | 0 HR |
| TABLE 602 EXTERIOR BEARING WALLS: FIRE SEP <5' | 2 HR - N/A |
| EXTERIOR BEARING WALLS: FIRE SEP ≥5' <10' | 1 HR - N/A |
| EXTERIOR BEARING WALLS: FIRE SEP ≥10' | 0 HR |
| TABLE 601 INTERIOR BEARING WALLS | 0 HR |
| TABLE 602 EXTERIOR NONBEARING WALLS: FIRE SEP <5' | 2 HR - N/A |
| EXTERIOR NONBEARING WALLS: FIRE SEP ≥5' <10' | 1 HR - N/A |
| EXTERIOR NONBEARING WALLS: FIRE SEP ≥10' | 0 HR |
| TABLE 601 FLOORS | 0 HR (1HR ABOVE A3 SEPARATION) |
| TABLE 601 ROOFS | 0 HR |

MAXIMUM AREA OF EXTERIOR OPENINGS

(CHAPTER 7) MAXIMUM AREA OF EXTERIOR OPENINGS PER TABLE 705.8:

| NORTH WALL - SEPARATION ≥30 FT | EAST WALL - SEPARATION ≥30 FT |
|--------------------------------|-------------------------------|
| UNPROTECTED NO LIMIT | UNPROTECTED NO LIMIT |
| PROTECTED NO LIMIT | PROTECTED NO LIMIT |
| SOUTH WALL - SEPARATION ≥30 FT | WEST WALL - SEPARATION ≥30 FT |
| UNPROTECTED NO LIMIT | UNPROTECTED NO LIMIT |
| PROTECTED NO LIMIT | PROTECTED NO LIMIT |

IECC COMPLIANCE FOR COMMERCIAL PROJECTS

CLIMATE ZONE: 6

- INSULATION REQUIREMENTS - IECC 2018 TABLE C402.1.3/C402.4 AND MT AMENDMENTS**
- ROOFS: R-30 CONTINUOUS ABOVE DECK, R-49 AT ATTICS
- METAL FRAMED WALLS, ABOVE GRADE: R-13 CAVITY + R-7.5 CONTINUOUS
- WOOD FRAMED WALLS, ABOVE GRADE: R-13 CAVITY + R-7.5 CONTINUOUS OR R-20 + R-3.8 CONTINUOUS
- MASS WALLS, ABOVE GRADE: R-13 CONTINUOUS
- BELOW GRADE WALLS: R-7.5 CONTINUOUS
- FLOORS - JOIST/FRAMING: R-30 (R-38 FOR STEEL FLOOR JOISTS)
- UNHEATED SLAB: R-10 VERTICAL FOR 24" BELOW (FULL HEIGHT OF THICKENED SLAB EDGE)
- HEATED SLAB: R-15 FOR 36" BELOW + R-5 FULL SLAB
- OPAQUE SWINGING DOORS: U-0.37
- ROLL UP OR SLIDING DOORS: R-4.75
- SKYLIGHT U-FACTOR: 0.50, MAXIMUM
- FIXED FENESTRATION U-FACTOR: 0.36, MAXIMUM
- OPERABLE FENESTRATION U-FACTOR: 0.43, MAXIMUM
- ENTRANCE DOOR: 0.77, MAXIMUM
- SHGC: 0.40 WITH ADJUSTMENT FOR PROJECTION FACTOR >2

INSULATION TO BE PROVIDED - REQUIREMENTS IN OTHER AREAS OF DRAWINGS OR SPECIFICATIONS TAKE PRECEDENCE OVER THE FOLLOWING REQUIREMENTS:

- ROOFS: R-50 BLOWN-IN ATTIC INSULATION
- WOOD FRAMED WALLS: R-21 CAVITY + R3.8 CONTINUOUS
- UNHEATED SLAB: R-10 VERTICAL FOR 24" BELOW (FULL HEIGHT OF THICKENED SLAB EDGE)
- OPAQUE SWINGING DOORS: U-0.37
- ROLL UP OR SLIDING DOORS: R-4.75
- FENESTRATION U-FACTOR (FIXED): 0.36, MAXIMUM
- FENESTRATION U-FACTOR (OPERABLE): 0.43, MAXIMUM
- ENTRANCE DOOR: 0.77, MAXIMUM
- SHGC: 0.40 WITH PROJECTION FACTOR <2

DATE REVISION

DESIGN DEVELOPMENT - N.F.C.

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GREAT WEST OFFICE

CODE INFORMATION

DATE: 03.01.2024

SHEET: **A003**

