



# City of Helena Pre-Application Information Form

Please fill out this form as best you can and return to the City Planning Office **five (5) days prior** to your pre-application meeting. If you have any problems filling out this form, please call the City Planning Office at 447-8490 and we will be happy to assist you.

**PLEASE CHECK ONE:**       **SUBDIVISION**       **NON-SUBDIVISION**

1. Name of Applicant: Dick Anderson Construction, Inc.  
Name of Property Owner (if different): Wells Fargo NW Bank of Helena  
Address/City/State/Zip: 415 Fuller Avenue Helena, Montana 59601  
Email: mesponda@daconstruction.com      Primary Phone: 443 3225 ex. 108

Secondary Phone: 406459-3176  
2. Contact person: Mark Esponda      Primary Phone: 443 3225 ex. 108  
Email: esponda@daconstruction.com      Secondary Phone: 406459-3176

3. Legal Description and general location: THOMPSON PLACER, S30, T10 N, R03 W, PM 25C, 25D, 31A, 32, PT LT 14 & PT LT 25 COS #291781  
**Please provide a general vicinity map, showing existing streets, north arrow and the proposed location of the site.**

4. Describe land use proposal (CUP, zone change, etc.): Mixed use Condominium (residential) Parking Structure, and Commercial (Wells Fargo Bank)

5. What, if any, is the existing zoning? DT

6. Do you plan to hire an engineer? Yes  No  Do you plan to hire a surveyor? Yes  No

7. Are you aware of any site conditions that may affect development? Yes an old Storm Sewer that runs diagonally from South west to North east across the site

8. Describe proposed water and sewer system: City Services

9. Describe proposed streets/access: There is existing access off of Placer and Fuller

10. Do you intend to apply for a variance? Yes, Likely

11. Describe drainage provisions (if applicable): N.A.

**For Subdivision Pre-Application Conference, please complete the following additional information:**

12. Name of proposed subdivision: ThompsonPlacer

13. Number and size of lots: (1) lot 2,342 sq. ft. approximate size of subdivision: No Clue (existing)

14. How do you intend to meet the park dedication requirement?  cash donation  park dedication  Combination  n/a

**Please include a sketch of the proposed subdivision showing the layout of the existing streets in relation to the site.**

## SUBDIVISION PRE-APPLICATION CONFERENCE

- A. Prior to submitting a preliminary plat application, a subdivider for a subdivision must consult with the Planning division of the Community Development Department to become familiar with the City's subdivision application requirements and review process. The subdivider must attend a pre-application meeting prior to submitting a subdivision application or resubmitting a previously submitted subdivision application that has material changes or amendments made by the subdivider after the original application has been determined by the City to contain required elements and sufficient information.
- B. The pre-application meeting will be scheduled within thirty (30) days after the subdivider submits a written request for a pre-application consultation and submits the pre-application materials to the City.
- C. To be considered for review, a subdivision application must be submitted within one hundred eighty (180) days of the pre-application meeting consultation. If an application is not submitted within that time frame, the subdivider must request a new pre-application consultation prior to submitting the subdivision application.
- D. In order to make the pre-application consultation productive, the subdivider should provide as much of the following information as possible:
- 1. Names and addresses of the subdivider and the owner of the property proposed to be subdivided;
  - 2. Name of proposed subdivision;
  - 3. Location of the property to be subdivided;
  - 4. Existing zoning of the property to be subdivided;
  - 5. Number and size of proposed subdivided lots;
  - 6. Size of the proposed subdivision;
  - 7. Name and contact information for any engineer or surveyor that have been retained;
  - 8. Proposed water and wastewater systems;
  - 9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems;
  - 10. Proposed streets;
  - 11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance;
  - 12. Description of any physical and environmental site conditions on the property;
  - 13. Stormwater drainage system;
  - 14. Proposed special improvement or maintenance districts;
  - 15. Proposed park land dedication;
  - 16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible (drawing does not need to be to scale);
  - 17. A general vicinity map showing existing streets and north arrow;
  - 18. Existing structures on the property;
  - 19. Existing easements and right-of-ways on the property;
  - 20. Existing and proposed covenants or deed restrictions;
  - 21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion;
  - 22. Types and locations of agricultural water facilities; and
  - 23. Analysis on how the proposed subdivision complies with the City Growth Policy.

## **Applicable Laws and Regulations**

The following are state laws, local regulations, Growth Policy provisions and other documents that may apply to the subdivision review process; this is for informational purposes only per MCA 76-3-504 (1)(q)(ii):

- Montana Code Annotated: including but not limited to Title 76 – Chapter 3
- Administrative Rules of Montana: including but not limited to Title 8, Chapter 94, Sub-chapter 30
- City of Helena City Code: including but not limited to Title 6 Public Utilities  
Title 7 Public  
Ways Title 11  
Zoning, and  
Title 12 Subdivision Regulations
- 2011 City of Helena Growth Policy
- Greater Helena Area Transportation Plan – 2004 Update
- 2011 City of Helena Comprehensive Parks, Recreation, and Open Space Plan
- City of Helena Engineering Standards
- South Hills Planning Study – 1985
- Helena West Side Infrastructure Study – 2001

## **Comment Contact List**

The following entities may be contacted for comments on proposed subdivisions per MCA 76-3-504 (1)(q)(iii). The City requests these entities respond within two (2) weeks of receiving the City's "Request for Comment." Although the City requests that these entities respond within two (2) weeks, they may comment at any time during the subdivision review process. Applications for subdivision review will not be delayed if these entities do not respond within the review period.

- ADA Compliance Committee
- City of East Helena
- City of Helena
- East Helena Public Schools
- Fort Harrison
- Helena Citizen's Council (HCC)
- Helena Regional Airport
- Helena School District
- Helena Valley Irrigation District
- Jefferson County
- Lewis and Clark County
- Lewis and Clark County Water Quality Protection District
- Lewis and Clark County Soil Conservation District
- Montana Department of Environmental Quality
- Montana Department of Fish, Wildlife, and Parks
- Montana Department of Natural Resources and Conservation
- Montana Department of Transportation
- Montana Land Reliance
- Montana Natural Heritage Program
- Non-motorized Transportation Advisory Council
- NorthWestern Energy
- St. Peter's Hospital and Ambulance Service
- State Historic Preservation Office
- City-County Heritage Tourism Council
- Three Rivers Communications

- U.S. Army Corps of Engineers
- U.S. Bureau of Land Management
- U.S. Environmental Protection Agency
- U.S. Fish and Wildlife Service
- U.S. Forest Service
- U.S. Geological Survey, Water Resources Division
- U.S. Post Office
- Utility companies including those providing electrical, communication, fiber optic, gas, or other services
- Yellowstone Pipe Line Company

## PRELIMINARY ZONING & CODE SUMMARY

### ZONING REQUIREMENTS

Lot and all surround lots are Zoned Downtown (DT) and fall under the Downtown District Design Standards.

#### 11-9-7 DESIGN STANDARDS:

<b>A. Site</b>	
1. Lot Size:	No minimum
2. Lot Width:	No minimum
3. Lot Coverage:	50% minimum
4. Landscaping:	Minimum 5% of ground floor story sq. footage 15,283 SF x 5% = 765 sf located anywhere onsite.
<b>B. Building Placement Setback requirements apply only to the ground floor story.</b>	
1. Lot Line, Primary Street	0' setback Minimum of 50% of the building frontage is required to meet zero lot line setback
2. Lot Line, Secondary Street	0' setback Minimum of 50% of the building frontage is required to meet zero lot line setback
3. Lot Line, Common	0' setback
4. Lot Line, Rear	0' setback
5. Corner Lot Orientation	0' setback Must conform to primary or secondary frontage requirements
6. Surface Parking Setback	10' minimum Applicable when parking is adjacent to building, must be landscaped.
<b>C. Height and Massing</b>	
1. Building Height	22' min, no max
2. Ground Floor Story Height	12' min floor-to-floor
3. Primary/Secondary Facade Wall Segment Length	45' max Offsets for visual articulation along building frontage are required after 45' of linear surface
<b>D. Activation</b>	
<b>1. Transparency</b>	
a. Ground Floor Story, Primary Street Frontage	50% min
b. Ground Floor Story, Secondary Street Frontage	40% min
c. Upper Stories	30% min
<b>2. Pedestrian Access</b>	
a. Entrance Spacing	Min of 1 pedestrian entrance along primary street
b. Walk/Approach Width	5' min width for single door, 10' min for double door
c. Awning and Canopies	10' min height above grade, 6' max overhang into R.O.W., ground floor story only
<b>3. Parking</b>	
a. Location	Rear of side of building, no parking permitted in front of building on primary or secondary frontages, unless parking structure that meets this section.
<b>b. Space Allocation</b>	
No parking minimums	
1 space/dwelling unit, 11 spaces max	
2 spaces/1,000 sf commercial, 3,354 sf commercial, 6 spaces max	
17 max spaces total allowed without variance, maximum parking limitation does not apply to a parking structure proposed onsite that meets the requirements of this Section.	
40 total shown, will require variance	
<b>c. Parking Structure</b>	
Ground floor story space must be occupied by a non-parking use along primary and secondary street frontages. All design standards apply to parking structures.	
<b>d. Drive-Through Aisles and Stacking</b>	
Drive-through aisle width 10' min, 2 cars stacking max. Drive-through aisles and circulation must be located to the rear of the structure. No more than 2 aisles permitted onsite.	
<b>e. Loading and Service Entry Location</b>	
Loading docks, overhead doors for the purpose of loading and delivery and other service entries are not permitted on primary street frontages.	
<b>f. Parking Lot Landscaping</b>	
Landscaping must conform with requirements of Chapter 24. 30 sf of landscaping per parking spot, every spot within 35' of a tree trunk.	
<b>g. Bicycle Parking</b>	
Minimum bike parking per Chapter 22. Parking lots with 10 or more spaces need 3 bicycle parking spots within 50' of a main building entryway.	
<b>4. Landscaping</b>	
h. Primary/Secondary Lot Line Setback	
Landscaping is required where a building does not meet the 0' setback requirement along a primary or secondary street frontage.	

### 2021 IBC REQUIREMENTS

<b>Building Areas:</b>			
1st Floor	11,572	S-2: 7,184; B: 3,291; R-2: 1,096	
2nd Floor	8,111	R-2: 8,111	
3rd Floor	8,110	R-2: 8,110	
4th Floor	8,113	R-2: 8,113	
<b>Total</b>	<b>39,674</b>		

#### PLATFORM BUILDING, TYPE IA FIRST STORY, TYPE VB ABOVE, SPRINKLED 510.2 Horizontal building separation allowance.

- A building shall be considered as separate and distinct buildings for the purposes of determining area limitations, continuity of fire walls, limitations of number of stories and type of construction where the following conditions are met:
- The buildings are separated with a horizontal assembly having a 3-hour rating. Where vertical offsets are used, the vertical offset and supporting structure shall be rated 3-hour.
  - The building below, including the horizontal assembly, is Type IA construction.
  - Shaft, stairway, ramp enclosures through the horizontal assembly shall have not less than a 2-hour rating.
  - Interior exit stairways within the Type IA building can be combustible materials where the building above is Type V and the stairway in Type IA building is enclosed in a 3-hour rating.
  - Building above the horizontal assembly shall be permitted to be Group B, M, R, or S occupancies.
  - Building below shall be fully sprinkled.
  - The maximum building height shall be for the most restrictive measured from the grade plane.

#### 1st Floor: Type IA, B, S-1, S-2 Occupancies, sprinkled

Primary structural frame	3 hour
Bearing walls (Ext & Int)	3 hour
Nonbearing ext walls	1 hour < 30' fire separation distance
Nonbearing int walls	0 hours
Floors and secondary struct	2 hour
Roof and secondary struct	1.5 hour

Allowable height:	Unlimited
Allowable stories:	Unlimited
Allowable area:	Unlimited

#### 2nd to 4th Floor: Type VB, R-2 Occupancy, sprinkled

Building elements	0 hour
Ext walls	1 hour < 10' fire separation distance
Walls & floors between units	1 hour
Stair & Elev enclosures	2 hour

Allowable Height:	60' above grade plane
Allowable Stories:	3 stories above horizontal assembly
Allowable Area (SM)	21,000 of per floor

#### TYPE IIB, SPRINKLED, SEPARATED OCCUPANCIES.

##### 1st Floor: B, S-1, S-2 Occupancies

Floor and walls around units	1 hour
Exterior walls	1 hour < 10' fire separation distance
Stair & Elev enclosures	2 hour

Occupancy Separations:			
	R-2	B	S-2
R-2	-	1	1
B	1	-	1
S-2	1	1	-

Allowable Height:	B: 75; S: 75; R: 75
Allowable Stories:	B: 4; R-2: 5; S: 4
Allowable Area:	B: 69,000; R-2: 48,000; S-1: 52,500; S-2: 78,000



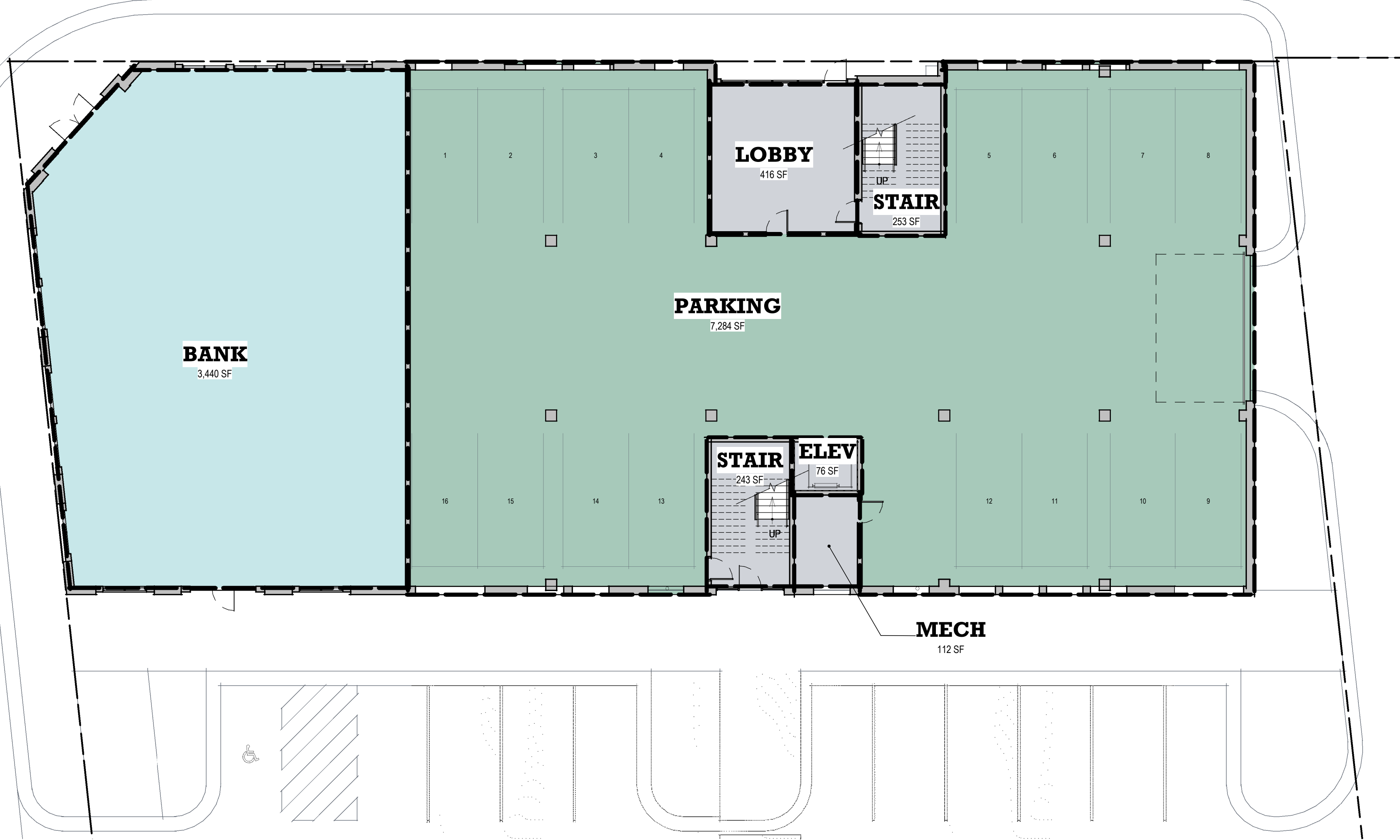
① **SITE PLAN**  
SCALE: 1" = 30'-0"



11/17/23

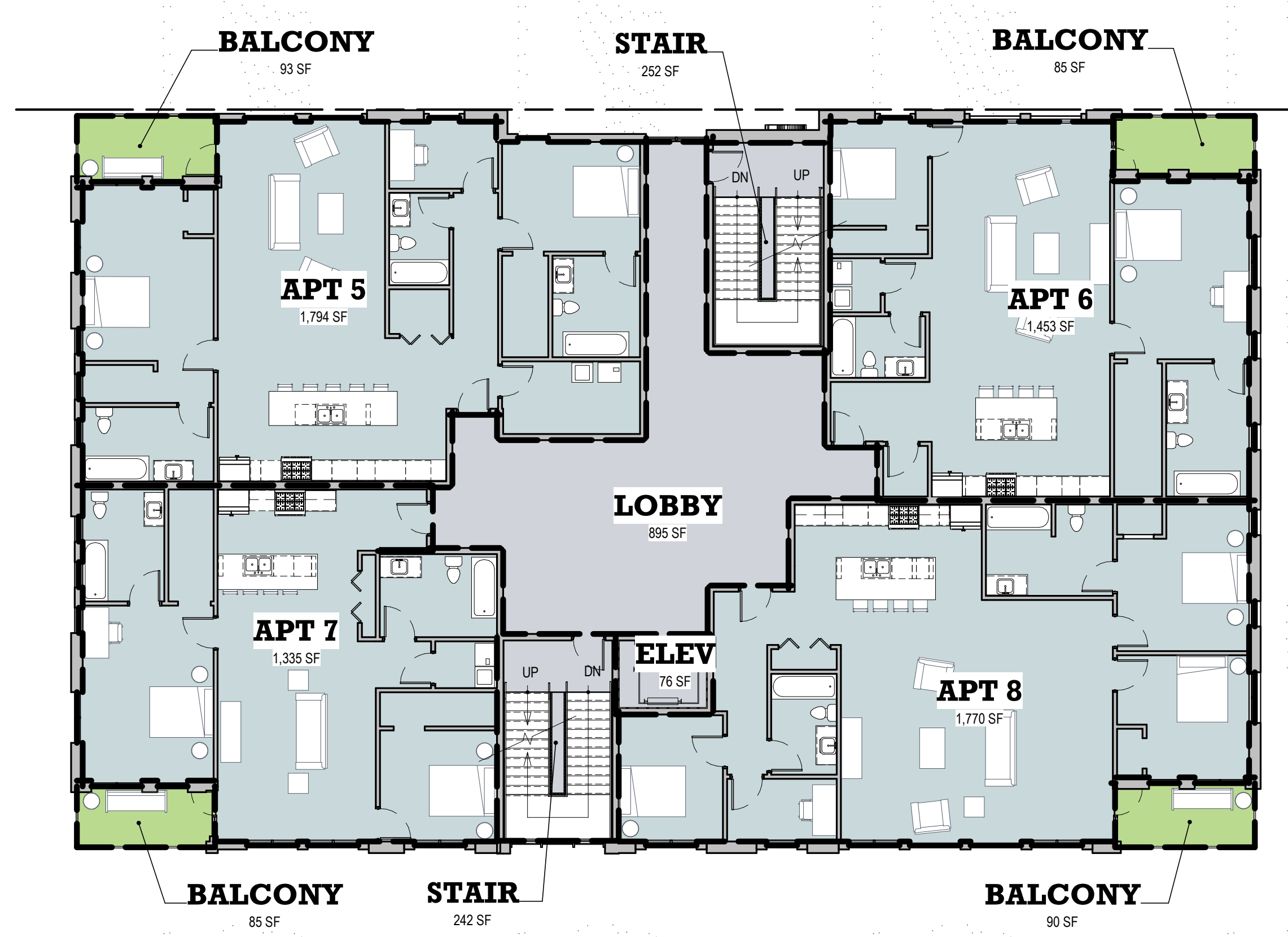
**BANK AND CONDO DEVELOPMENT  
OPTION D - SITE PLAN**

**D1**



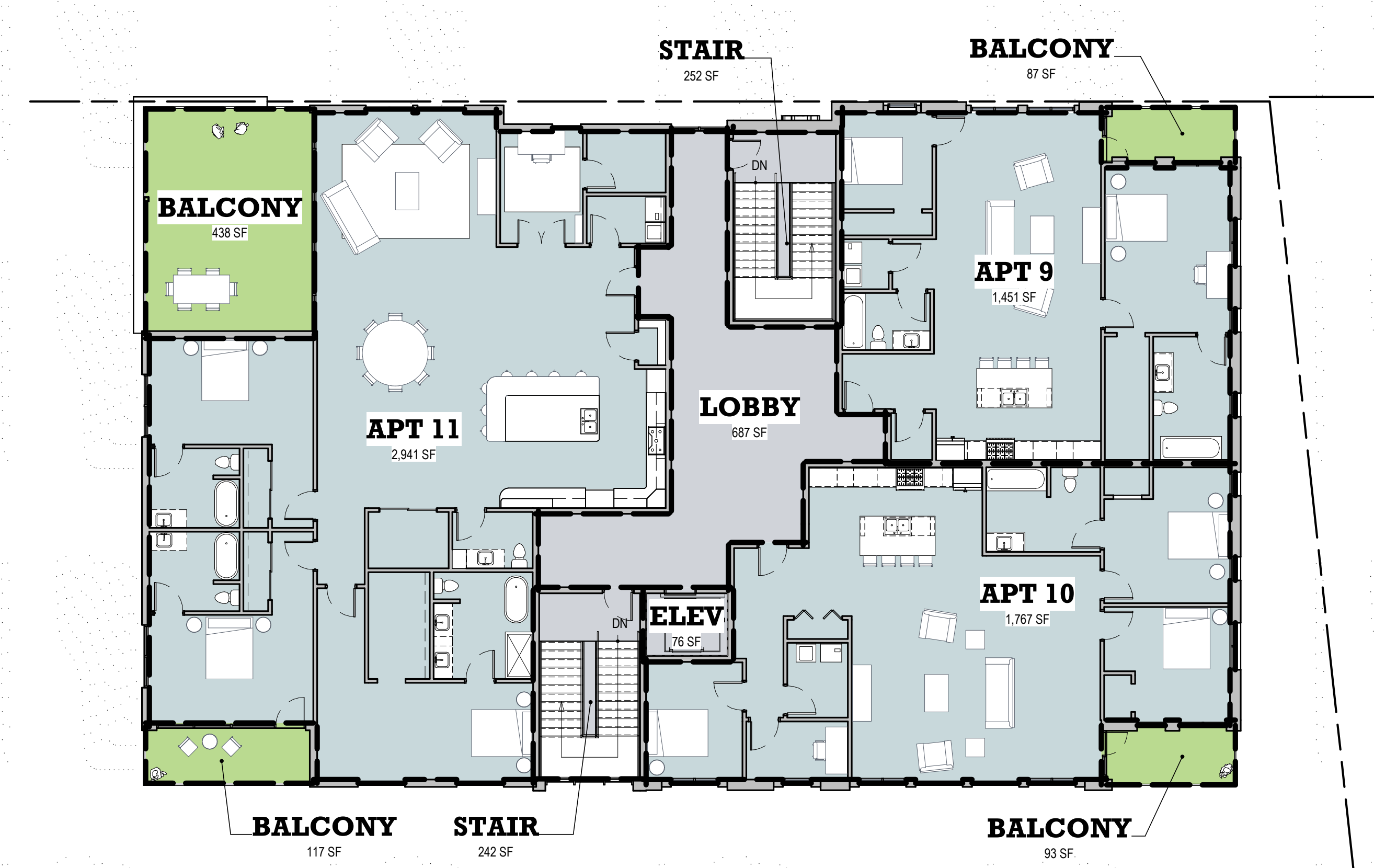
AREAS	
1st FLOOR	
PARKING	7,284 SF
BANK	3,440 SF
LOBBY	416 SF
MECH	112 SF
STAIR	243 SF
STAIR	253 SF
ELEV	76 SF
	11,824 SF
2nd FLOOR	
APT 1	1,793 SF
BALCONY	96 SF
APT 2	1,454 SF
BALCONY	87 SF
APT 3	1,332 SF
BALCONY	94 SF
APT 4	1,763 SF
BALCONY	87 SF
LOBBY	895 SF
ELEV	76 SF
STAIR	242 SF
STAIR	252 SF
	8,172 SF
3rd FLOOR	
APT 5	1,794 SF
BALCONY	93 SF
APT 6	1,453 SF
BALCONY	85 SF
APT 7	1,335 SF
BALCONY	90 SF
APT 8	1,770 SF
BALCONY	85 SF
LOBBY	895 SF
ELEV	76 SF
STAIR	242 SF
STAIR	252 SF
	8,171 SF
4th FLOOR	
APT 9	1,451 SF
BALCONY	87 SF
APT 10	1,767 SF
BALCONY	93 SF
APT 11	2,941 SF
BALCONY	438 SF
BALCONY	117 SF
LOBBY	687 SF
ELEV	76 SF
STAIR	242 SF
STAIR	252 SF
	8,151 SF
TOTAL AREA:	36,318 SF

**1 1st FLOOR AREAS**  
 SCALE: 3/32" = 1'-0"  
 11,572 GSF



**3 3rd FLOOR AREAS**  
 SCALE: 3/32" = 1'-0"  
 8,110 GSF

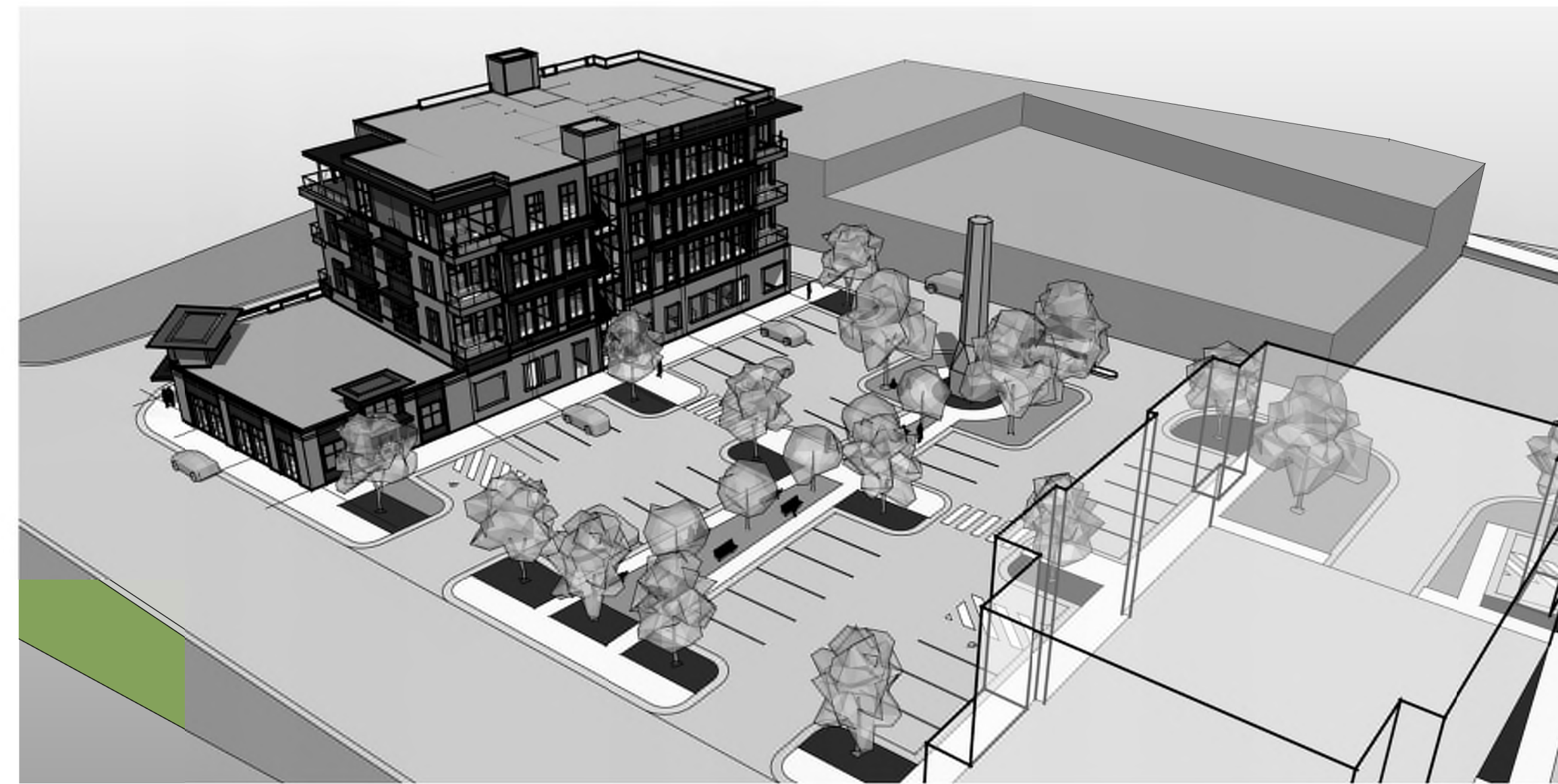
**2 2nd FLOOR AREAS**  
 SCALE: 3/32" = 1'-0"  
 8,111 GSF



**4 4th FLOOR AREAS**  
 SCALE: 3/32" = 1'-0"  
 8,113 GSF



1 **NORTHWEST ORTHOGONAL**  
SCALE:



2 **SITE BIRDS EYE**  
SCALE:



3 **NORTHWEST PERSPECTIVE**  
SCALE:



4 **SOUTH PERSPECTIVE**  
SCALE:



5 **SOUTHWEST PERSPECTIVE**  
SCALE:



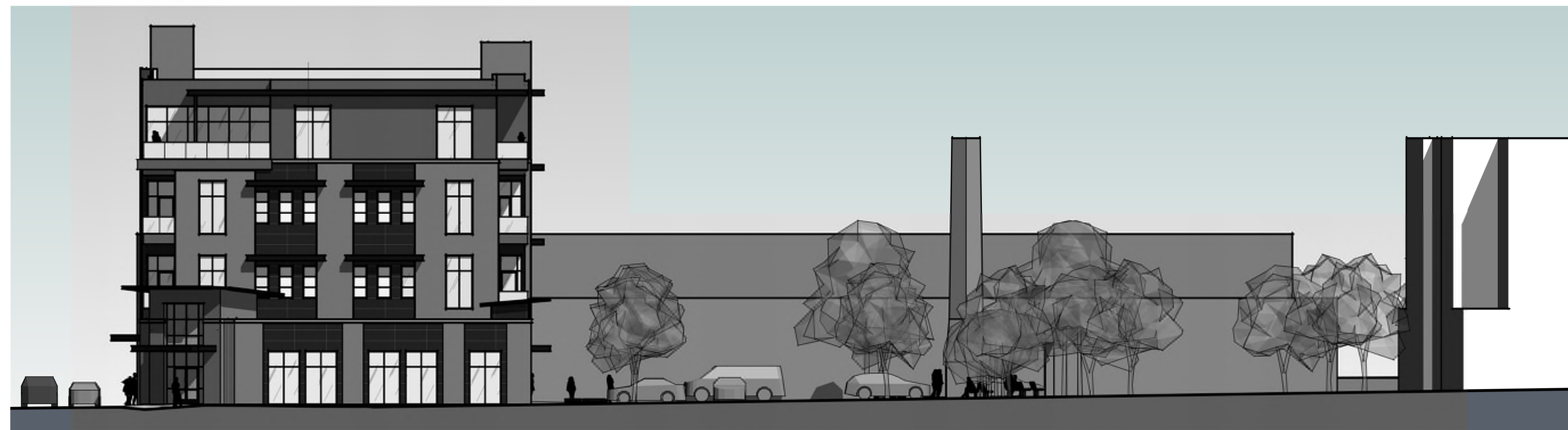
6 **NORTHWEST STREET PERSPECTIVE**  
SCALE:



① **NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



③ **SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



② **WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



④ **EAST ELEVATION**  
SCALE: 1/16" = 1'-0"