



City of Helena Pre-Application Information Form

Please fill out this form as best you can and return to the City Planning Office **five (5) days prior** to your pre-application meeting. If you have any problems filling out this form, please call the City Planning Office at 447-8490 and we will be happy to assist you.

PLEASE CHECK ONE: SUBDIVISION NON-SUBDIVISION

1. Name of Applicant: Brandon Williams, Studio4 Architects
Name of Property Owner (if different): PEC DESIGN-BUILD CORPORATION
Address/City/State/Zip: 27 Shiloh Road Suite 8, Billings MT 59106
Email: brandon@studio4architects.com Primary Phone: 406-656-1714
Secondary Phone: _____

2. Contact person: Brandon Williams Primary Phone: 406-656-1714
Email: brandon@studio4architects.com Secondary Phone: _____

3. Legal Description and general location: Lot 3A, Block 2, of the Nob Hill Subdivision
Address: 3256 Colonial Drive

Please provide a general vicinity map, showing existing streets, north arrow and the proposed location of the site.

4. Describe land use proposal (CUP, zone change, etc.): New Building: Dental Office

5. What, if any, is the existing zoning? B-2

6. Do you plan to hire an engineer? Yes No Do you plan to hire a surveyor? Yes No

7. Are you aware of any site conditions that may affect development? No, not at this current time.

8. Describe proposed water and sewer system: Water will come from existing water service from Colonial Drive. Sewer will be a new service to the existing sewer main on the north end of the site.

9. Describe proposed streets/access: Proposing 2 street accesses, both going to the parking lot that will come off of Colonial Drive just east of Chianti Drive

10. Do you intend to apply for a variance? No

11. Describe drainage provisions (if applicable): Existing storm water infrastructure in Colonial Drive

For Subdivision Pre-Application Conference, please complete the following additional information:

12. Name of proposed subdivision: _____

13. Number and size of lots: _____ approximate size of subdivision: _____

14. How do you intend to meet the park dedication requirement? cash donation park dedication
 Combination n/a

Please include a sketch of the proposed subdivision showing the layout of the existing streets in relation to the site.

SUBDIVISION PRE-APPLICATION CONFERENCE

- A. Prior to submitting a preliminary plat application, a subdivider for a subdivision must consult with the Planning division of the Community Development Department to become familiar with the City's subdivision application requirements and review process. The subdivider must attend a pre-application meeting prior to submitting a subdivision application or resubmitting a previously submitted subdivision application that has material changes or amendments made by the subdivider after the original application has been determined by the City to contain required elements and sufficient information.
- B. The pre-application meeting will be scheduled within thirty (30) days after the subdivider submits a written request for a pre-application consultation and submits the pre-application materials to the City.
- C. To be considered for review, a subdivision application must be submitted within one hundred eighty (180) days of the pre-application meeting consultation. If an application is not submitted within that time frame, the subdivider must request a new pre-application consultation prior to submitting the subdivision application.
- D. In order to make the pre-application consultation productive, the subdivider should provide as much of the following information as possible:
- 1. Names and addresses of the subdivider and the owner of the property proposed to be subdivided;
 - 2. Name of proposed subdivision;
 - 3. Location of the property to be subdivided;
 - 4. Existing zoning of the property to be subdivided;
 - 5. Number and size of proposed subdivided lots;
 - 6. Size of the proposed subdivision;
 - 7. Name and contact information for any engineer or surveyor that have been retained;
 - 8. Proposed water and wastewater systems;
 - 9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems;
 - 10. Proposed streets;
 - 11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance;
 - 12. Description of any physical and environmental site conditions on the property;
 - 13. Stormwater drainage system;
 - 14. Proposed special improvement or maintenance districts;
 - 15. Proposed park land dedication;
 - 16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible (drawing does not need to be to scale);
 - 17. A general vicinity map showing existing streets and north arrow;
 - 18. Existing structures on the property;
 - 19. Existing easements and right-of-ways on the property;
 - 20. Existing and proposed covenants or deed restrictions;
 - 21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion;
 - 22. Types and locations of agricultural water facilities; and
 - 23. Analysis on how the proposed subdivision complies with the City Growth Policy.

Applicable Laws and Regulations

The following are state laws, local regulations, Growth Policy provisions and other documents that may apply to the subdivision review process; this is for informational purposes only per MCA 76-3-504 (1)(q)(ii):

- Montana Code Annotated: including but not limited to Title 76 – Chapter 3
- Administrative Rules of Montana: including but not limited to Title 8, Chapter 94, Sub-chapter 30
- City of Helena City Code: including but not limited to Title 6 Public Utilities
Title 7 Public
Ways Title 11
Zoning, and
Title 12 Subdivision Regulations
- 2011 City of Helena Growth Policy
- Greater Helena Area Transportation Plan – 2004 Update
- 2011 City of Helena Comprehensive Parks, Recreation, and Open Space Plan
- City of Helena Engineering Standards
- South Hills Planning Study – 1985
- Helena West Side Infrastructure Study – 2001

Comment Contact List

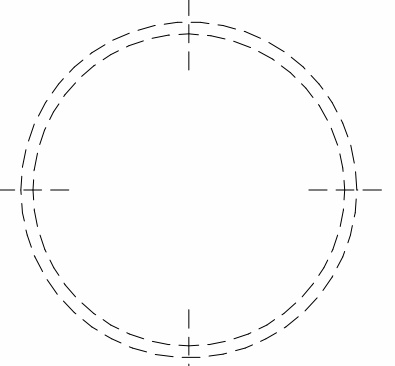
The following entities may be contacted for comments on proposed subdivisions per MCA 76-3-504 (1)(q)(iii). The City requests these entities respond within two (2) weeks of receiving the City's "Request for Comment." Although the City requests that these entities respond within two (2) weeks, they may comment at any time during the subdivision review process. Applications for subdivision review will not be delayed if these entities do not respond within the review period.

- ADA Compliance Committee
- City of East Helena
- City of Helena
- East Helena Public Schools
- Fort Harrison
- Helena Citizen's Council (HCC)
- Helena Regional Airport
- Helena School District
- Helena Valley Irrigation District
- Jefferson County
- Lewis and Clark County
- Lewis and Clark County Water Quality Protection District
- Lewis and Clark County Soil Conservation District
- Montana Department of Environmental Quality
- Montana Department of Fish, Wildlife, and Parks
- Montana Department of Natural Resources and Conservation
- Montana Department of Transportation
- Montana Land Reliance
- Montana Natural Heritage Program
- Non-motorized Transportation Advisory Council
- NorthWestern Energy
- St. Peter's Hospital and Ambulance Service
- State Historic Preservation Office
- City-County Heritage Tourism Council
- Three Rivers Communications

- U.S. Army Corps of Engineers
- U.S. Bureau of Land Management
- U.S. Environmental Protection Agency
- U.S. Fish and Wildlife Service
- U.S. Forest Service
- U.S. Geological Survey, Water Resources Division
- U.S. Post Office
- Utility companies including those providing electrical, communication, fiber optic, gas, or other services
- Yellowstone Pipe Line Company

Winterholler Dentistry

27 Shiloh Road, Suite 8
Billings, MT 59106
o: 406.656.1714
f: 406.656.1715
studio4architects.com



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GENERAL NOTES:

A. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.

B. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.

C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.

D. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

E. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.

F. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, ETC. NECESSARY FOR A PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.

G. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION / SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.

H. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH THE RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.

I. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.

J. IF THE CONTRACTOR OR SUBCONTRACTOR SHOULD FIND ANY DISCREPANCY IN AND / OR OMISSIONS FROM THESE DRAWINGS OR IF THE CONTRACTOR SHOULD BE IN QUESTION AS TO THEIR MEANING OR INTENT, THE CONTRACTOR SHOULD CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION OR CLARIFICATION.

K. TEMPERED SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS:

- IN SWINGING, HINGED, OR BIFOLD DOORS.
- GLASS IN RAILING SYSTEMS
- WINDOWS WITHIN 24" OF A DOOR AND WITHIN 60" OF THE FLOOR
- OR - ALL OF THE FOLLOWING:
 - WINDOWS WITH AN INDIVIDUAL PANE SIZE GREATER THAN 9 SF
 - GLASS WITHIN 18" OF THE FLOOR
 - EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY

L. CONTRACTOR AND WINDOW MANUFACTURER ARE EXPRESSLY RESPONSIBLE FOR WINDOWS MEETING ALL CODES, INCLUDING EGRESS REQUIREMENTS.

M. **SPECIAL INSPECTIONS:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REFER TO THE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.



PROJECT DATA:

ADDRESS: 3256 COLONIAL DRIVE
HELENA, MONTANA 59601

ZONING: B-2 GENERAL COMMERCIAL DISTRICT

SCOPE OF WORK:

THIS PROJECT PROPOSES A NEW BUILDING FOR A DENTISTRY PRACTICE WITH SEVEN PROCEDURE ROOMS AND ONE SURGICAL PROCEDURE ROOM.

CIVIL ENGINEER:

WOITH ENGINEERING, INC
405 3RD ST NW, SUITE 206
GREAT FALLS, MT 59404
406.761.1955

ARCHITECT:

STUDIO4 ARCHITECTS
27 SHILOH ROAD, SUITE 8
BILLINGS, MT 59106
406.656.1714

STRUCTURAL ENGINEER:

KRIVONEN AND ASSOCIATES
725 GRAND AVE.
BILLINGS, MT 59101
406.259.1184

MECHANICAL/PLUMBING ENGINEER:

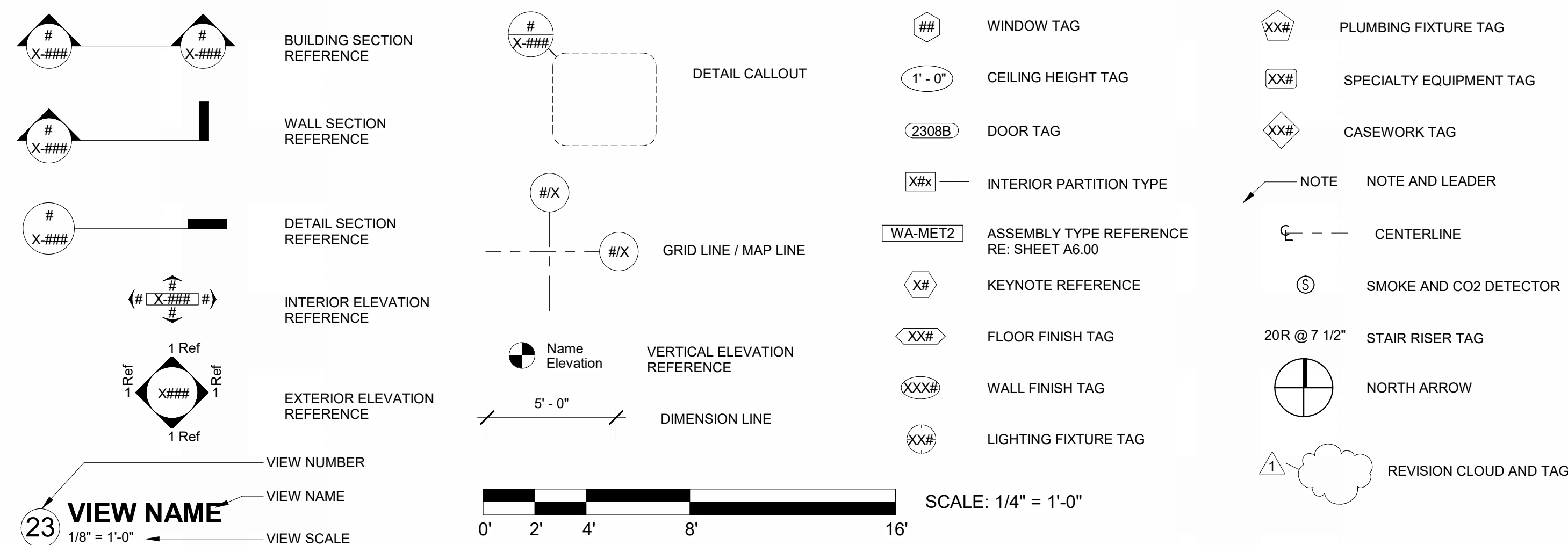
JAY CEDERBERG PE
AIR CONTROLS
2115 2ND AVE. N.
BILLINGS, MT 59101
406.839.0803

ELECTRICAL ENGINEER:

EVERSO CORDEIRO ENGINEERING
12 6TH STREET SOUTH
GREAT FALLS, MT 59401
406.761.4057

DRAWING INDEX:

A3.6	WALL SECTIONS
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A1.1	FLOOR PLAN
A1.4	REFLECTED CEILING PLANS
A1.5	ROOF PLAN
A1.6	FINISH PLAN
A2.0	EXTERIOR ELEVATIONS
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A3.0	BUILDING SECTIONS
A3.5	WALL SECTIONS
A4.0	ENLARGED PLANS
A5.0	DETAILS
A6.0	BUILDING ASSEMBLIES
A6.2	INTERIOR PARTITION TYPES
A6.3	DOOR & WINDOW SCHEDULES
A6.4	FINISH SCHEDULES
A7.1	INTERIOR ELEVATIONS



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

PROJECT:

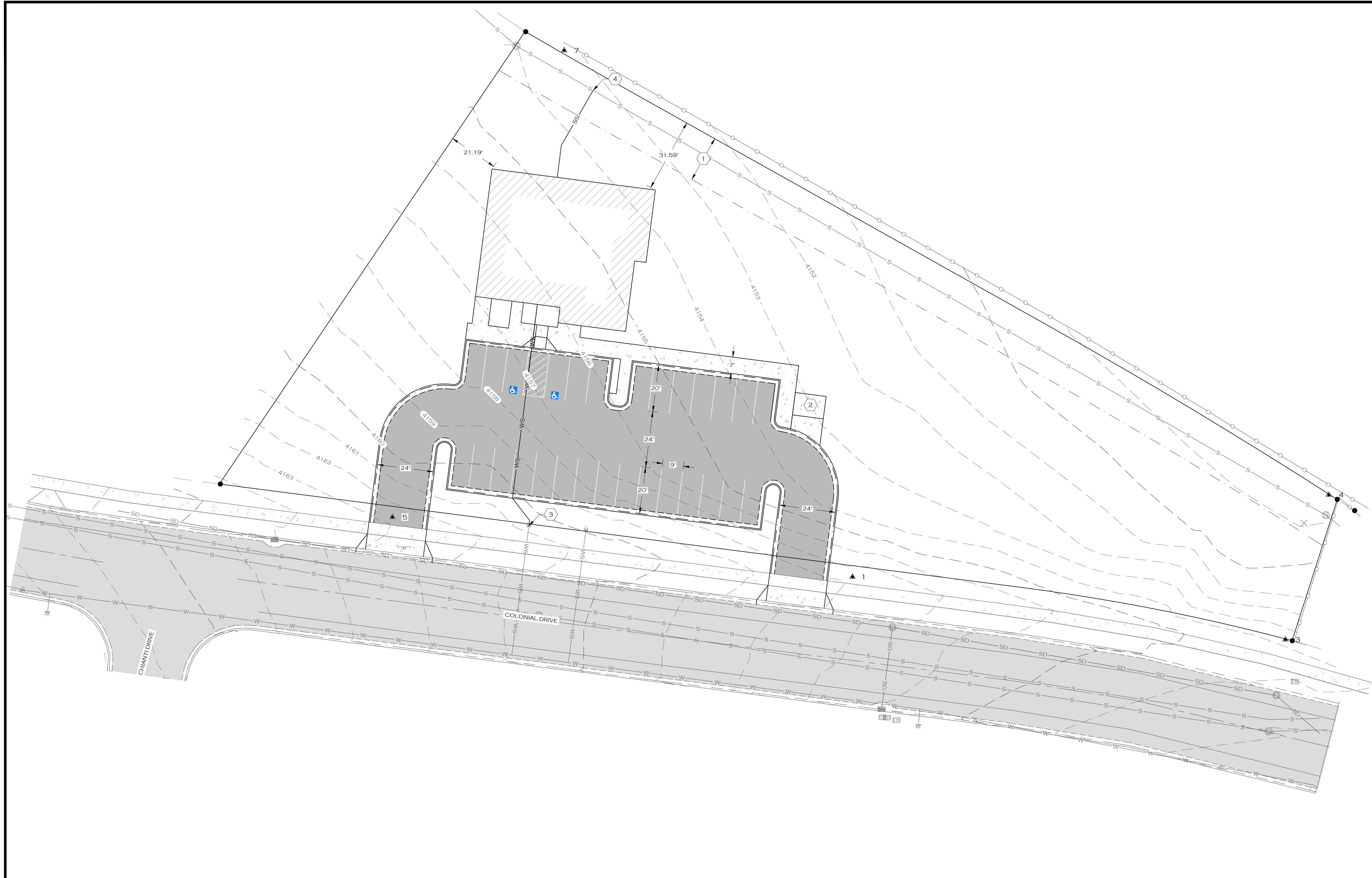
**WINTERHOLLER
3256 COLONIAL DR
HELENA, MT 59601**

SET:

PROJECT NO. 2314
DRAWN BY: Author
CHECKED BY: Checker

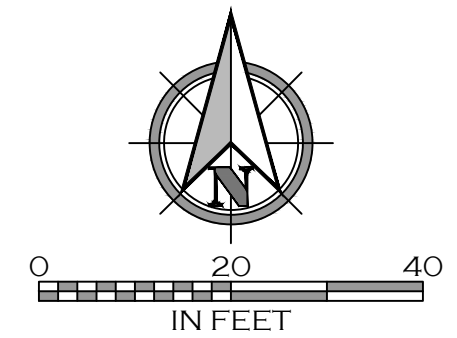
DATES:

**SHEET:
T1.0
TITLE SHEET**



LEGEND	
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED ASPHALT ROAD
	PROPOSED SIDEWALK/ CONCRETE
	PROPOSED WHITE TRAFFIC STRIPE
	PROPOSED ADA STALL MARKING
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER SERVICE

KEY NOTES	
	20' UTILITY EASEMENT
	PROPOSED TRASH ENCLOSURE
	PROPOSED WATER SERVICE TIE-IN
	PROPOSED SEWER SERVICE TIE-IN



PRELIMINARY - NOT FOR CONSTRUCTION

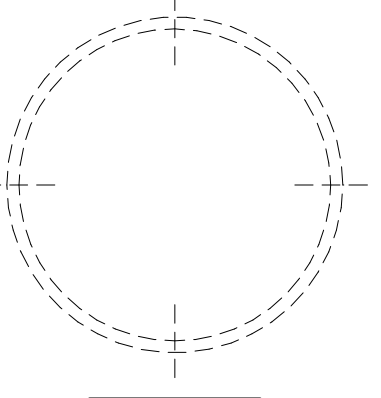
JOB #:	GF-2317
DRAWN:	TDL/RLO
DESIGN:	TDL/RLO
CA:	KTS/SNW
DATE:	11/20/2023

DESCRIPTION	DATE

WOITH ENGINEERING, INC.
ENGINEERS & SURVEYORS
 605 3RD STREET NW, SUITE 205 - GREAT FALLS, MT 59403 - 406-761-1955
 3880 CLARY STREET, SUITE A - MISSOULA, MT 59808 - 406-803-9565
 WWW.WOITHENG.COM
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HELENA WINTERHOLLER DENTAL	MONTANA
HELENA	SITE EXHIBIT

C2.0



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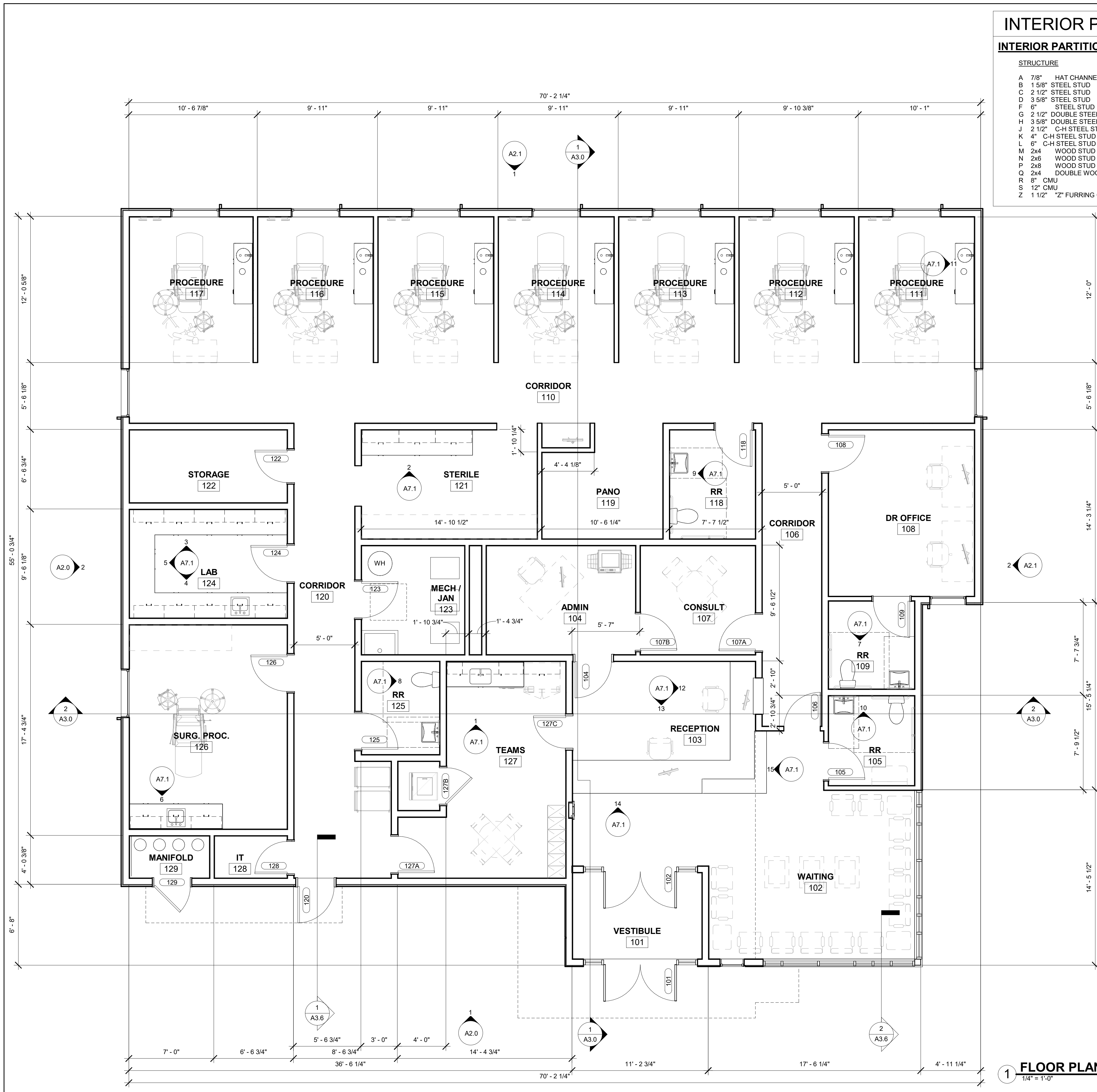
**SHEET:
A1.1
FLOOR PLAN**

INTERIOR PARTITION TYPES LEGEND

INTERIOR PARTITION NAMING CONVENTION

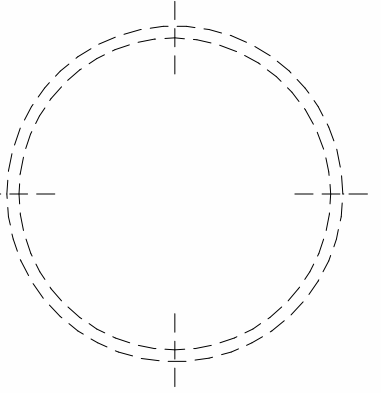
EXAMPLE

STRUCTURE	FIRE RESISTANCE RATING	SUB-TYPE
A 7/8" HAT CHANNEL	0 NON-RATED	a 6" ABOVE CEILING
B 1 5/8" STEEL STUD	1 1 HOUR	b UNDER SIDE OF STRUCTURE
C 2 1/2" STEEL STUD	2 2 HOUR	c UNDER SIDE OF CEILING
D 3 5/8" STEEL STUD	3 3 HOUR	d FURRING TO 6" ABOVE CEILING
F 6" STEEL STUD		f FURRING TO UNDERSIDE OF STRUCTURE
G 2 1/2" DOUBLE STEEL STUD		k FLAT STUD
H 3 5/8" DOUBLE STEEL STUD		m (2) LAYERS GYPSUM 1 SIDE, 1 LAYER OTHER SIDE
J 2 1/2" C-H STEEL STUD		p PARTIAL HEIGHT
K 4" C-H STEEL STUD		r PARTIAL HEIGHT FURRING
L 6" C-H STEEL STUD		s SOUND PARTITION
M 2x4 WOOD STUD		t THERMAL INSULATION
N 2x6 WOOD STUD		v (2) LAYERS GYPSUM BOARD 1 SIDE
P 2x8 WOOD STUD		w (2) LAYERS GYPSUM BOARD 1 SIDE, 1 LAYER OTHER SIDE
Q 2x4 DOUBLE WOOD STUD		x (2) LAYERS GYPSUM BOARD EACH SIDE
R 8" CMU		y (2) LAYERS OF SHAFTLINER
S 12" CMU		
Z 1 1/2" "Z" FURRING CHANNEL		

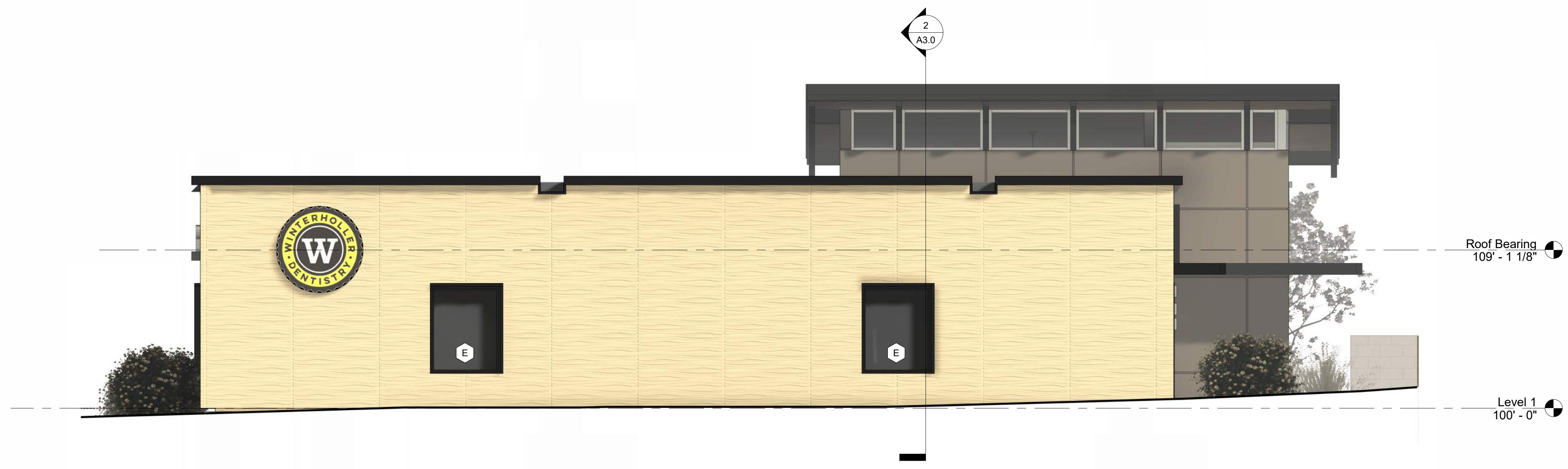


1 FLOOR PLAN
1/4" = 1'-0"

11/20/2023 2:21:56 PM



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2 EXTERIOR WEST ELEVATION
1/4" = 1'-0"



1 EXTERIOR SOUTH ELEVATION (FRONT)
1/4" = 1'-0"

PROJECT:

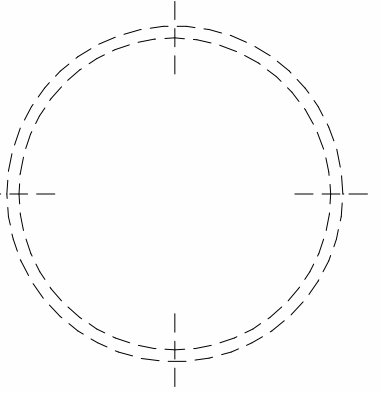
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HELENA, MT 59601**

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CHECKED BY: Checker

DATES:

**SHEET:
A2.0
EXTERIOR
ELEVATIONS**



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2 EXTERIOR EAST ELEVATION
1/4" = 1'-0"



1 EXTERIOR NORTH ELEVATION
1/4" = 1'-0"

PROJECT:

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3256 COLONIAL DR
HELENA, MT 59601**

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DATES:

**SHEET:
A2.1
EXTERIOR
ELEVATIONS**