



# City of Helena Pre-Application Information Form

Please fill out this form as best you can and return to the City Planning Office **five (5) days prior** to your pre-application meeting. If you have any problems filling out this form, please call the City Planning Office at 447-8490 and we will be happy to assist you.

**PLEASE CHECK ONE:**       **SUBDIVISION**       **NON-SUBDIVISION**

1. Name of Applicant: Dan Sampson  
Name of Property Owner (if different): Helena 4 RE2LLC  
Address/City/State/Zip: P.O. Box 6000, Butte, MT 59702  
Email: dans@townpump.com      Primary Phone: 406-497-6860

2. Contact person: Kory Kennaugh      Primary Phone: 406-443-2340  
Email: kk@cwg-architects.com      Secondary Phone: \_\_\_\_\_

3. Legal Description and general location: HAGLER WADDELL SUB, S19, T10 N, R03 W, BLOCK 1, Lot 7 - 8, COS 381310  
General location is the NW corner of the intersection of Enterprise Drive and North Montana Avenue.

***Please provide a general vicinity map, showing existing streets, north arrow and the proposed location of the site.***

4. Describe land use proposal (CUP, zone change, etc.): The existing use is a C-store and Casino, allowed by City of Helena CUP Resolution No. 11239 dated 4/20/98.  
The Casino is being expanded into the c-store area within the existing building footprint, which we believe will require a new CUP.

5. What, if any, is the existing zoning? B-2

6. Do you plan to hire an engineer? Yes  No  Do you plan to hire a surveyor? Yes  No

7. Are you aware of any site conditions that may affect development? No. The site is currently developed as a Casino and Convenience store

8. Describe proposed water and sewer system: Existing domestic water service and sanitary sewer services will be used.  
A new fire sprinkler water service is anticipated.

9. Describe proposed streets/access: Access provided by existing approach on North Montana Ave and two existing approaches on Enterprise Ave.

10. Do you intend to apply for a variance? No Variances are anticipated.

11. Describe drainage provisions (if applicable): Site drainage is anticipated to remain as existing. The proposed project results in zero net increase in new impervious areas.

**For Subdivision Pre-Application Conference, please complete the following additional information:**

12. Name of proposed subdivision: \_\_\_\_\_

13. Number and size of lots: \_\_\_\_\_ approximate size of subdivision: \_\_\_\_\_

14. How do you intend to meet the park dedication requirement?  cash donation  park dedication  
 Combination  n/a

***Please include a sketch of the proposed subdivision showing the layout of the existing streets in relation to the site.***

## SUBDIVISION PRE-APPLICATION CONFERENCE

- A. Prior to submitting a preliminary plat application, a subdivider for a subdivision must consult with the Planning division of the Community Development Department to become familiar with the City's subdivision application requirements and review process. The subdivider must attend a pre-application meeting prior to submitting a subdivision application or resubmitting a previously submitted subdivision application that has material changes or amendments made by the subdivider after the original application has been determined by the City to contain required elements and sufficient information.
- B. The pre-application meeting will be scheduled within thirty (30) days after the subdivider submits a written request for a pre-application consultation and submits the pre-application materials to the City.
- C. To be considered for review, a subdivision application must be submitted within one hundred eighty (180) days of the pre-application meeting consultation. If an application is not submitted within that time frame, the subdivider must request a new pre-application consultation prior to submitting the subdivision application.
- D. In order to make the pre-application consultation productive, the subdivider should provide as much of the following information as possible:
- 1. Names and addresses of the subdivider and the owner of the property proposed to be subdivided;
  - 2. Name of proposed subdivision;
  - 3. Location of the property to be subdivided;
  - 4. Existing zoning of the property to be subdivided;
  - 5. Number and size of proposed subdivided lots;
  - 6. Size of the proposed subdivision;
  - 7. Name and contact information for any engineer or surveyor that have been retained;
  - 8. Proposed water and wastewater systems;
  - 9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems;
  - 10. Proposed streets;
  - 11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance;
  - 12. Description of any physical and environmental site conditions on the property;
  - 13. Stormwater drainage system;
  - 14. Proposed special improvement or maintenance districts;
  - 15. Proposed park land dedication;
  - 16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible (drawing does not need to be to scale);
  - 17. A general vicinity map showing existing streets and north arrow;
  - 18. Existing structures on the property;
  - 19. Existing easements and right-of-ways on the property;
  - 20. Existing and proposed covenants or deed restrictions;
  - 21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion;
  - 22. Types and locations of agricultural water facilities; and
  - 23. Analysis on how the proposed subdivision complies with the City Growth Policy.

## **Applicable Laws and Regulations**

The following are state laws, local regulations, Growth Policy provisions and other documents that may apply to the subdivision review process; this is for informational purposes only per MCA 76-3-504 (1)(q)(ii):

- Montana Code Annotated: including but not limited to Title 76 – Chapter 3
- Administrative Rules of Montana: including but not limited to Title 8, Chapter 94, Sub-chapter 30
- City of Helena City Code: including but not limited to Title 6 Public Utilities  
Title 7 Public  
Ways Title 11  
Zoning, and  
Title 12 Subdivision Regulations
- 2011 City of Helena Growth Policy
- Greater Helena Area Transportation Plan – 2004 Update
- 2011 City of Helena Comprehensive Parks, Recreation, and Open Space Plan
- City of Helena Engineering Standards
- South Hills Planning Study – 1985
- Helena West Side Infrastructure Study – 2001

## **Comment Contact List**

The following entities may be contacted for comments on proposed subdivisions per MCA 76-3-504 (1)(q)(iii). The City requests these entities respond within two (2) weeks of receiving the City's "Request for Comment." Although the City requests that these entities respond within two (2) weeks, they may comment at any time during the subdivision review process. Applications for subdivision review will not be delayed if these entities do not respond within the review period.

- ADA Compliance Committee
- City of East Helena
- City of Helena
- East Helena Public Schools
- Fort Harrison
- Helena Citizen's Council (HCC)
- Helena Regional Airport
- Helena School District
- Helena Valley Irrigation District
- Jefferson County
- Lewis and Clark County
- Lewis and Clark County Water Quality Protection District
- Lewis and Clark County Soil Conservation District
- Montana Department of Environmental Quality
- Montana Department of Fish, Wildlife, and Parks
- Montana Department of Natural Resources and Conservation
- Montana Department of Transportation
- Montana Land Reliance
- Montana Natural Heritage Program
- Non-motorized Transportation Advisory Council
- NorthWestern Energy
- St. Peter's Hospital and Ambulance Service
- State Historic Preservation Office
- City-County Heritage Tourism Council
- Three Rivers Communications

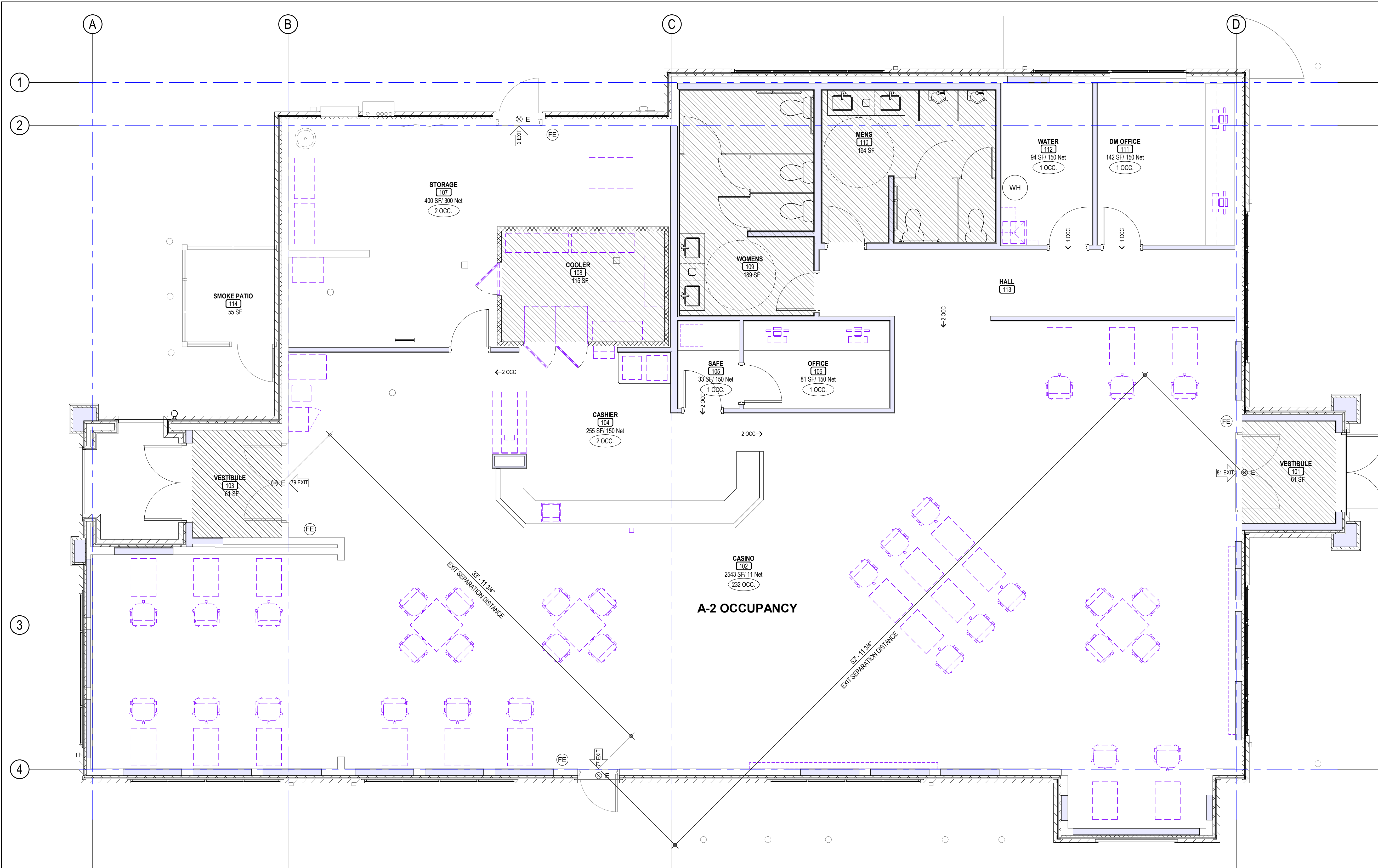
- U.S. Army Corps of Engineers
- U.S. Bureau of Land Management
- U.S. Environmental Protection Agency
- U.S. Fish and Wildlife Service
- U.S. Forest Service
- U.S. Geological Survey, Water Resources Division
- U.S. Post Office
- Utility companies including those providing electrical, communication, fiber optic, gas, or other services
- Yellowstone Pipe Line Company







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 1150 ENTERPRISE DR. HELENA, MONTANA 59624  
 TEL: (406) 443-2340



**COORDINATION NOTE**  
 IT IS ABSOLUTELY NECESSARY THAT ALL TRADES COORDINATE WITH EACH OTHER AND VERIFY THAT THERE ARE NO CONFLICTS IN LOCATION OF DUCTS, CONDUITS, SPRINKLER HEADS, DIFFUSERS, ELECTRICAL BOXES, EQUIPMENT, AND OTHER ITEMS THROUGHOUT THIS PROJECT BEFORE FINAL PLACEMENT OF MATERIALS.

**COGNIZANT NOTE:**  
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**CODE PLAN LEGEND**

- ACCESSORY USE ONLY
- EXIT SIGN, SEE ELECTRICAL
- FIRE EXTINGUISHER, SEE MECHANICAL

**PROGRESS PRINT NOT FOR CONSTRUCTION**

**CWG Architecture + Interior**  
 650 Power St.  
 P.O. Box 1198  
 Helena, MT 59624  
 cwg@cwg-architects.com  
 (406) 443-2340

**REVISIONS**

| # | DATE |
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**1 FIRST FLOOR PLAN - CODE**  
 SCALE: 1/4" = 1'-0"

| OCCUPANTS   |             |             |         |                 |               |
|-------------|-------------|-------------|---------|-----------------|---------------|
| Number      | Name        | Occupancy   | Area    | Occupant Factor | Occupant Load |
| FIRST FLOOR |             |             |         |                 |               |
| 101         | VESTIBULE   | CIRCULATION | 61 SF   |                 |               |
| 102         | CASINO      | ASSEMBLY    | 2543 SF | 11              | 232           |
| 103         | VESTIBULE   | CIRCULATION | 61 SF   |                 |               |
| 104         | CASHIER     | BUSINESS    | 255 SF  | 150             | 2             |
| 105         | SAFE        | BUSINESS    | 33 SF   | 150             | 1             |
| 106         | OFFICE      | BUSINESS    | 81 SF   | 150             | 1             |
| 107         | STORAGE     | STORAGE     | 400 SF  | 300             | 2             |
| 108         | COOLER      | --          | 115 SF  |                 |               |
| 109         | WOMENS      | RESTROOM    | 189 SF  |                 |               |
| 110         | MENS        | RESTROOM    | 164 SF  |                 |               |
| 111         | DM OFFICE   | BUSINESS    | 142 SF  | 150             | 1             |
| 112         | WATER       | BUSINESS    | 94 SF   | 150             | 1             |
| 113         | HALL        | CIRCULATION | 176 SF  |                 |               |
| 114         | SMOKE PATIO | --          | 55 SF   |                 |               |
| Grand total |             |             | 4368 SF |                 | 240           |

**CODE REVIEW: 2021 INTERNATIONAL EXISTING BUILDING CODE**

**PROJECT:** Casino Remodel

**PROPOSED BUILDING**  
 Remodel of existing one-story Convenience Store and Casino building. The existing building is constructed with wood stud exterior walls and interior partitions and steel columns and beams, concrete on grade for first floor, wood deck with tapered insulation on flat roofs, and is a non-sprinkled building. New work will update the exterior of the building with new finishes, roofs, continuous exterior insulation, and increasing the height with metal stud walls. New work on the interior will reorganize the floor plan to a Casino and it's supporting spaces, interior wood stud partitions, installing a sprinkler system, and removing the cold attic space above the ceilings. There will be no addition to the square footage size of the building.

**BUILDING AREA AND HEIGHT**  
 First Floor: 4,368 GSF  
 Height: 21' - 7" (Vertical distance from grade plane to the average height of the highest roof surface)

**SECTION 503 ALTERATIONS**  
 Alterations to any building or structure shall comply with the requirements of the *International Building Code* for new construction. Alterations shall be such that the existing building or structure is not less complying with the provisions of the *International Building Code* than the existing building or structure prior to the alteration.

**SECTION 506 CHANGE OF OCCUPANCY**  
 Shall not be made in any building unless that building is made to comply with the requirements of the *International Building Code* for the use or occupancy. Change of occupancy in a building or portion thereof shall be such that the existing building is not less complying with the provisions of this code than the existing building or structure was prior to the change.

**SECTION 604 ALTERATION LEVEL 3**  
 Level 3 alterations apply where the work area exceeds 50% of the building area.  
 Level 3 alterations shall comply with the provisions of **Chapters 7 and 8** for Level 1 and 2 alterations, respectively, as well as the provisions of **Chapter 9**.

**SECTION 906 ELECTRICAL**  
 Newly installed electrical equipment and wiring relating to work done in any work area shall comply with all applicable requirements of **NFPA 70** except as provided for in **Section 906.4**.  
**SECTION 906.2 EXISTING INSTALLATIONS**  
 Existing wiring in all works areas in **Group A-2** shall be upgraded to meet the materials and methods requirements of **Chapter 7**.

**SECTION 907 MECHANICAL**  
 Reconfigured spaces intended for occupancy and spaces converted to habitable or occupiable space in any work area shall be provided with natural or mechanical ventilation in accordance with the *International Mechanical Code*.

**SECTION 901 ALTERATION LEVEL 3**  
**SECTION 901.2 COMPLIANCE**  
 In addition to the provisions of this chapter, work shall comply with all of the requirements of **Chapter 7 and 8**.

**SECTION 904 FIRE PROTECTION**  
**SECTION 904.1 AUTOMATIC SPRINKLER SYSTEMS**  
 An automatic sprinkler system shall be provided in a work area where required by **Section 903.2** or this section.  
**SECTION 904.1.4 GROUPS A, B, AND S-2**  
 Work areas shall be provided with automatic sprinkler protection where all of the following conditions occur:  
 The work area is required to be provided with automatic sprinkler protection in accordance with the *International Building Code* as applicable to new construction.  
 The building site has sufficient municipal water supply for design and installation of an automatic sprinkler system.

**SECTION 904.2 FIRE ALARM AND DETECTION SYSTEMS**  
 Shall be provided in accordance with **Section 907** of the *International Building Code* as required for new construction.  
**SECTION 904.2.1 MANUAL FIRE ALARM SYSTEMS**  
 Where required by the *International Building Code*, a manual fire alarm system shall be provided throughout the work area. Alarm notification appliances shall be provided on such floors and shall be automatically activated as required by the *International Building Code*.  
**SECTION 904.2.2 AUTOMATIC FIRE DETECTION**  
 Where required by the *International Building Code* for new buildings, automatic fire detection systems shall be provided throughout the work area.

**SECTION 905 MEANS OF EGRESS**  
**SECTION 905.2 MEANS OF EGRESS LIGHTING**  
 Exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the *International Building Code*.  
**SECTION 905.3 EXIT SIGNS**  
 Exit discharge shall be provided with exit signs in accordance with the requirements of the *International Building Code*.

**SECTION 907 ENERGY CONSERVATION**  
**SECTION 907.1 MINIMUM REQUIREMENTS**  
 Level 3 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the *International Energy Conservation Code*. The alterations shall conform to the energy requirements of the *International Energy Conservation Code* as they relate to new construction only.

**CODE REVIEW: 2021 INTERNATIONAL ENERGY CONSERVATION**

**SECTION C503 ALTERATIONS**  
 Alterations to any building or structure shall comply with the requirements of **Section C503**. Alterations shall be such that the existing building or structure is not less conforming to the provisions of this code than the existing building or structure was prior to the alteration. Alterations to an existing building, building system or portion thereof shall conform to the provisions of this code as those provisions relate to new construction without requiring the unaltered portions of the existing building or building system to comply with this code. Alterations shall not create an unsafe or hazardous condition or overload existing building systems.

**SECTION C503.2 BUILDING ENVELOPE**  
 New building envelope assemblies that are part of the alteration shall comply with **Section C402.1** through **C402.5**.  
**SECTION C503.2.1 ROOF REPLACEMENT**  
 Shall comply with **Section C402.1.3, C402.1.4, C402.1.5, or C407** where the existing roof assembly is part of the building thermal envelope and contains insulation entirely above the roof deck.

**SECTION C503.3 HEATING AND COOLING SYSTEMS**  
 New heating, cooling, and duct systems that are part of the alteration shall comply with **Sections C403 and C408**.  
**SECTION C503.4 SERVICE HOT WATER SYSTEMS**  
 New service hot water systems that are part of the alteration shall comply with **Sections C404 and C408**.  
**SECTION C503.5 LIGHTING SYSTEMS**  
 New lighting systems that are part of the alteration shall comply with **Sections C405 and C408**.

REVIEW CONTINUES ON SHEET G0.3

**TOWN PUMP, INC.**  
 HELENA 4 RE2 LLC  
 HELENA #4 LUCKY LIL'S REMODEL  
 1150 ENTERPRISE DR. HELENA, MONTANA  
 CODE PLAN

**TOWN PUMP**

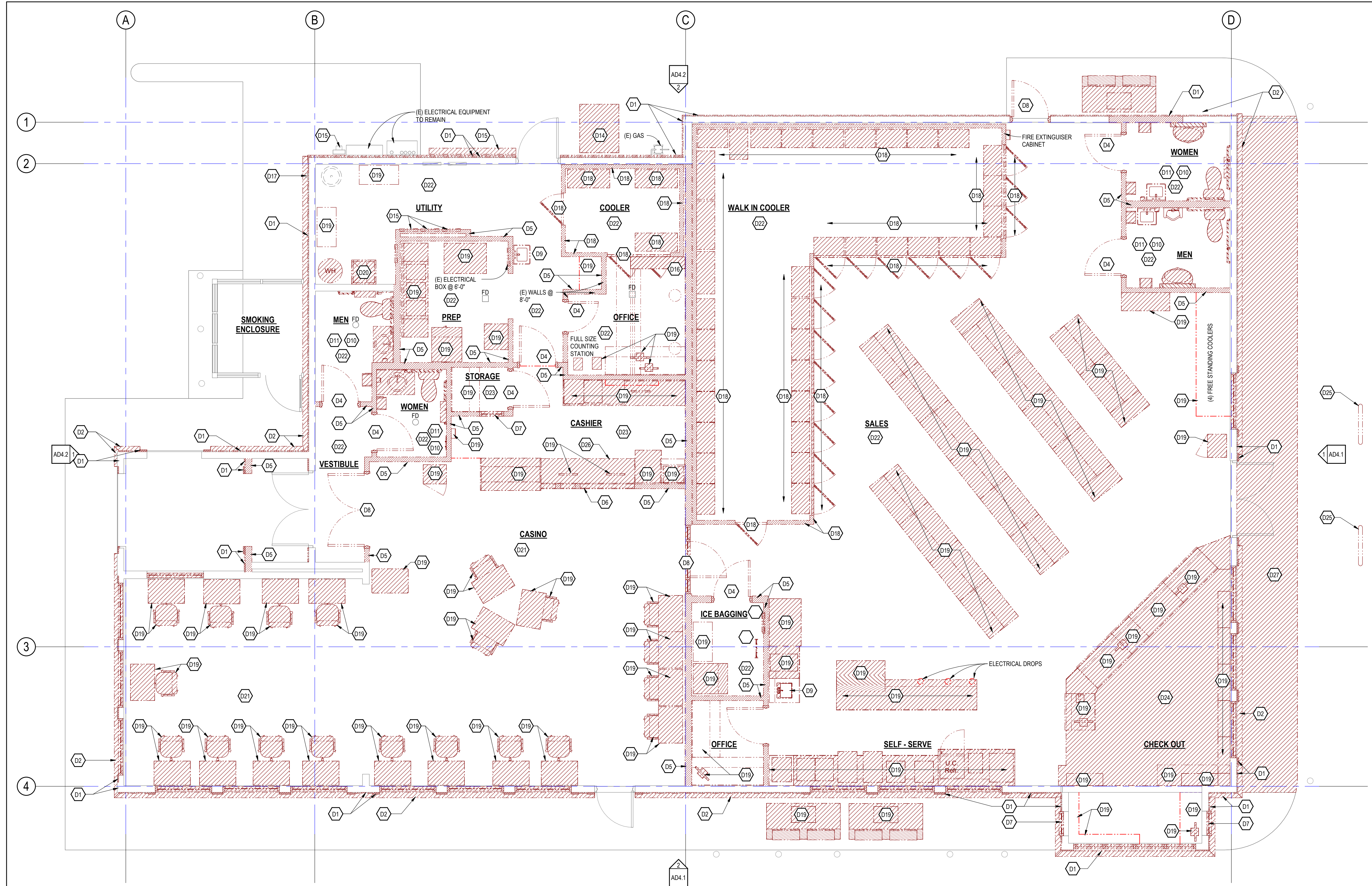
600 S. MAIN  
 P.O. BOX 6000  
 BUTTE, MONTANA 59702

4182-46-07  
 DRAWN BY: ER  
 APPROVED: CWG  
 DATE: 10.9.2023

**G0.2**



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P.O. Box 1198  
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(406)443-2340  
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**REVISIONS**

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**1 FIRST FLOOR - DEMO**  
SCALE: 1/4" = 1'-0"

- DEMOLITION GENERAL NOTES**
- COORDINATE ALL WORK IN EXISTING BUILDING WITH OWNER
  - SEE PHASING PLAN FOR SCHEDULE OF DEMOLITION WORK
  - SEE STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL AND FIRE ALARM DRAWINGS FOR ADDITIONAL DEMOLITION NOTES
  - WHERE REQUIRED PER STRUCTURAL, INSTALL TEMPORARY SHORING
  - WHERE EXISTING ITEMS ARE REMOVED FROM EXISTING WALLS PATCH PAINT AS REQUIRED FOR COMPLETE FINISHED CONSTRUCTION

**DEMOLITION FLOOR PLAN NOTES**

|   |  |  |                              |
|---|--|--|------------------------------|
| D1 REMOVE ALL EXISTING EFIS SIDING                  | D6 REMOVE PLUMBING - SEE MECHANICAL                                    | D17 EXISTING CARBONIZER FILL STATION. PROTECT & MAINTAIN. TEMPORARY DISCONNECT WHILE INSTALLING SIDING | D25 REMOVE (E) BOLLARD       |
| D2 REMOVE ALL EXISTING BRICK VENEER                 | D10 REMOVE TOILETS & SINKS - SEE MECHANICAL                            | D18 COOLER WALLS, CEILING, DOORS, SHELVING TO BE REMOVED BY OWNER                                      | D26 REMOVE (E) MILLWORK      |
| D3 REMOVE EXISTING WOOD DOOR AND HOLLOW METAL FRAME | D11 REMOVE TOILET ACCESSORIES - SAVE FOR REFUSE                        | D19 EQUIP TO BE REMOVED BY OWNER   | D27 REMOVE (E) CONCRETE SLAB |
| D5 REMOVE WD STUD STUD WALL                         | D12 REMOVE WALL TILE & GYP BD OR BACKER BD ON TOILET RM WALLS TO STUDS | D20 REMOVE FLOOR SINK / FLOOR DRAIN - SEE MECHANICAL   | D28 REMOVE (E) MILLWORK      |
| D6 REMOVE WD FRAMED HALF WALL                       | D13 REMOVE ROOF ACCESS LADDER  | D21 REMOVE (E) CARPETING & BASE  | D29 REMOVE (E) CONCRETE SLAB |
| D7 REMOVE (E) WINDOW                                | D14 REMOVE (E) CO2 HOUSE   | D22 REMOVE (E) TILE FLOORING & BASE  |                              |
| D8 REMOVE ALUM DOOR & FRAME                         | D15 REMOVE (E) ELECTRICAL EQUIPMENT - SEE ELECTRICAL                   | D23 REMOVE (E) SHEET VINYL FLOORING  |                              |
|   | D16 REMOVE EXHAUST HOOD & DUCTWORK - SEE MECHANICAL                    | D24 REMOVE (E) CASHIER FLOOR CONSTRUCTION  |                              |

**-WE WILL NEED SLAB DEMO NOTES  
-LOCATIONS FROM MECHANICAL**

**TOWN PUMP, INC.**  
HELENA 4 RE2 LLC  
HELENA #4 LUCKY LIL'S REMODEL  
1150 ENTERPRISE DR. HELENA, MONTANA  
BUTTE, MONTANA 59702

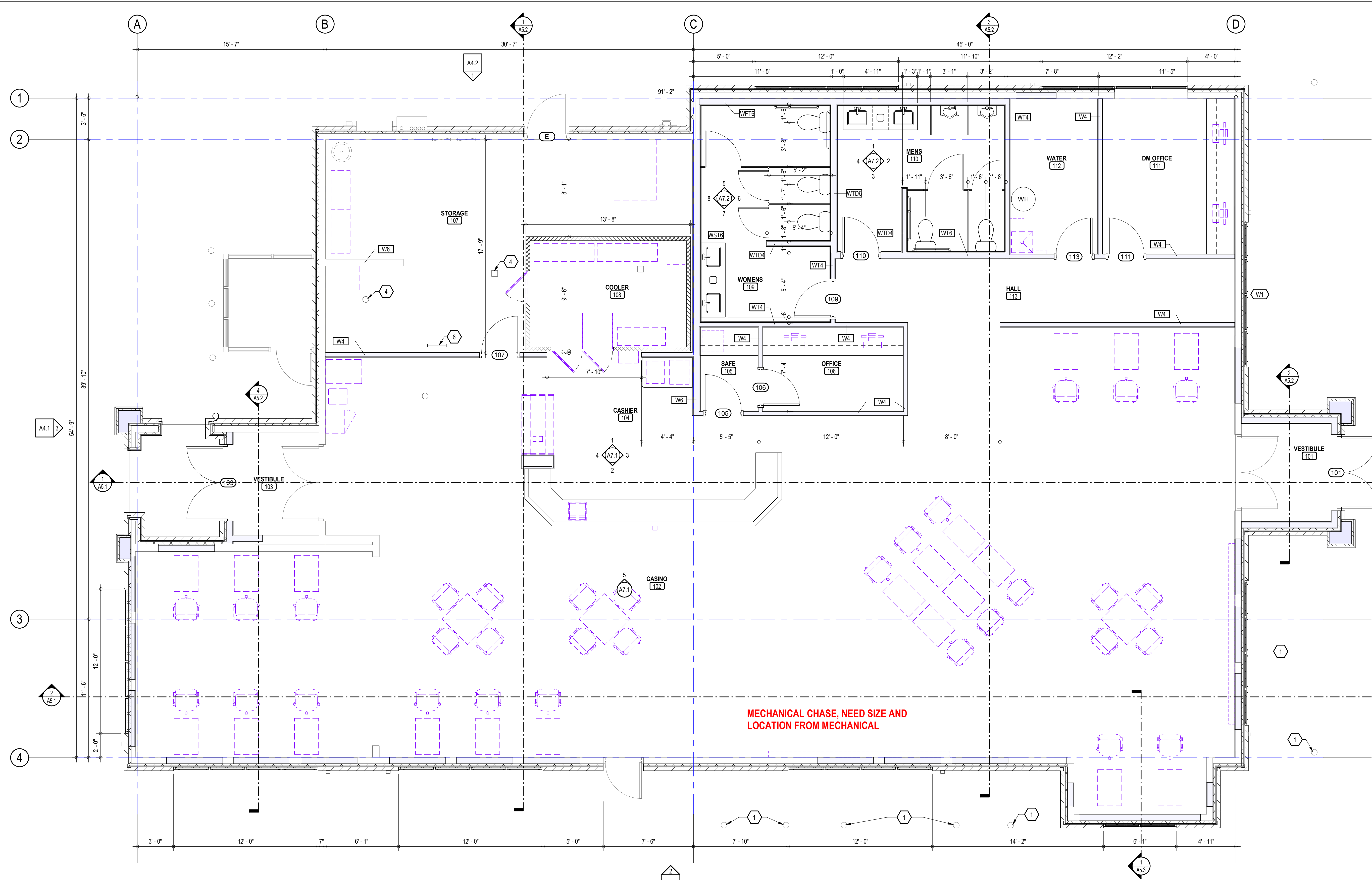


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APPROVED CWG  
DATE 10.9.2023

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**1 FIRST FLOOR**  
 SCALE: 1/4" = 1'-0"

**WILL WE HAVE ANY WALLS WITH SOUND BATT INSUL?**

| FLOOR PLAN NOTES  |                           |
|---|---------------------------|
|   | SOUND BATT INSULATED WALL |
| <b>GENERAL NOTES:</b>   |                           |
| <ul style="list-style-type: none"> <li>REFERENCE FIRST FLOOR LINE ELEVATION 100'-0". SEE CIVIL DRAWINGS FOR ACTUAL BUILDING ELEVATIONS, SIDEWALK ELEVATIONS, GARAGE AND DUMPSTER ELEVATIONS.</li> <li>SEE DRAWINGS E01.1 AND E01.2 FOR EQUIPMENT LAYOUTS.</li> <li>SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF SHEAR WALLS AND SHEAR WALL TIEDOWNS.</li> <li>BLOCK OUT A 18"x18" AREA AROUND FLOOR DRAINS AND CLEANOUTS PRIOR TO PLACING SLAB, IN-FILL BLOCK OUT WITH CONCRETE AFTER FLOOR DRAINS OR CLEANOUTS HAVE BEEN LEVELED AND ALIGNED WITH FLOOR TILE LAYOUT, COORDINATE WITH PLUMBERS.</li> <li>VERIFY LOCATIONS OF FLOOR PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND ELECTRICAL.</li> </ul> |                           |
| <b>DIMENSION NOTES:</b>   |                           |
| <ul style="list-style-type: none"> <li>GRID LINES ARE TO INTERIOR FACE OF WALL STUDS OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE.</li> <li>DIMENSIONS ARE TO FACE OF STUDS OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE.</li> <li>DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO FRAME SIZE UNLESS NOTED OTHERWISE.</li> <li>DOOR OPENINGS NOT DIMENSIONED ON THE PLAN SHALL BE LOCATED 4" FROM THE CORNER OF THE ROOM TO THE DOORS ROUGH OPENING.</li> </ul>   |                           |

- |   |  |    |   |
|---|--|----|---|
| 1 | VERIFY LOCATIONS OF SIDEWALKS AND BOLLARDS WITH CIVIL PLANS, SEE FINISH LEGEND FOR COLOR   | 10 | COUNTER WITH SHELVING.  |
| 2 | SEAMLESS DOWNSPOUT TO SIDEWALK CONNECTION, SEE CIVIL MECHANICAL.   | 11 | LAVATORY COUNTER TOP, AND                                     |
| 3 | HOSE BIB, SEE MECHANICAL.  | 12 | ELECTRICAL HAND DRYER, OWNER FURNISHED, CONTRACTOR INSTALLED. |
| 4 | FLOOR DRAIN OR CLEANOUTS, SEE MECHANICAL.  | 13 | CORNER GUARDS, SEE SPECIFICATIONS                             |
| 5 | ELECTRICAL PANELS, CONDUIT, AND GEAR, SEE ELECTRICAL.  | 14 | PRE FINISHED METAL TRIM BY COOLER MANUFACTURER.               |
| 6 | ROOF ACCESS LADDER.  | 15 |   |
| 7 | FIRE DEPARTMENT CONNECTION AND FIRE SPRINKLER DRAIN, SEE FIRE PROTECTION.  | 16 |   |
| 8 | PROVIDE FULL HEIGHT SOUND BATT INSULATION WHERE DRAWN ON PLANS.  | 17 |   |
| 9 | SHEATH ALL RESTROOMS FULL HEIGHT OF TILE WITH 5/8" PLYWOOD INSTALLED BENEATH CEMENT TILE BACKER BOARD TO ALLOW ATTACHMENT OF TOILET ACCESSORIES. | 18 |   |

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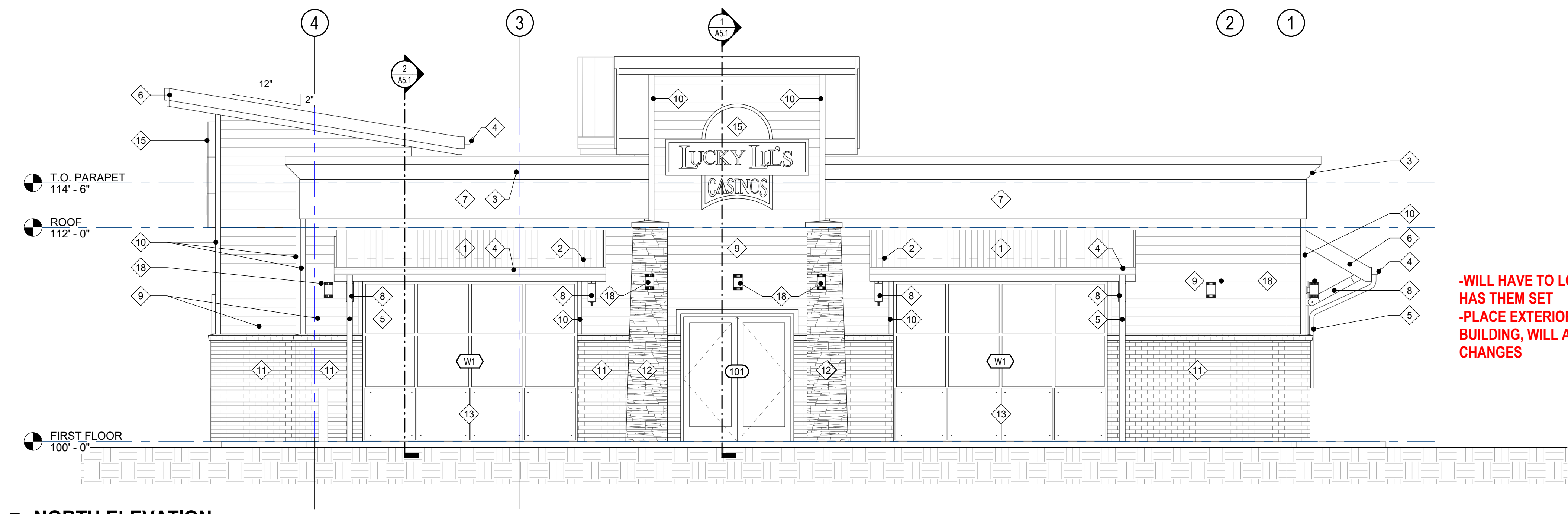
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**PROGRESS PRINT NOT FOR CONSTRUCTION**

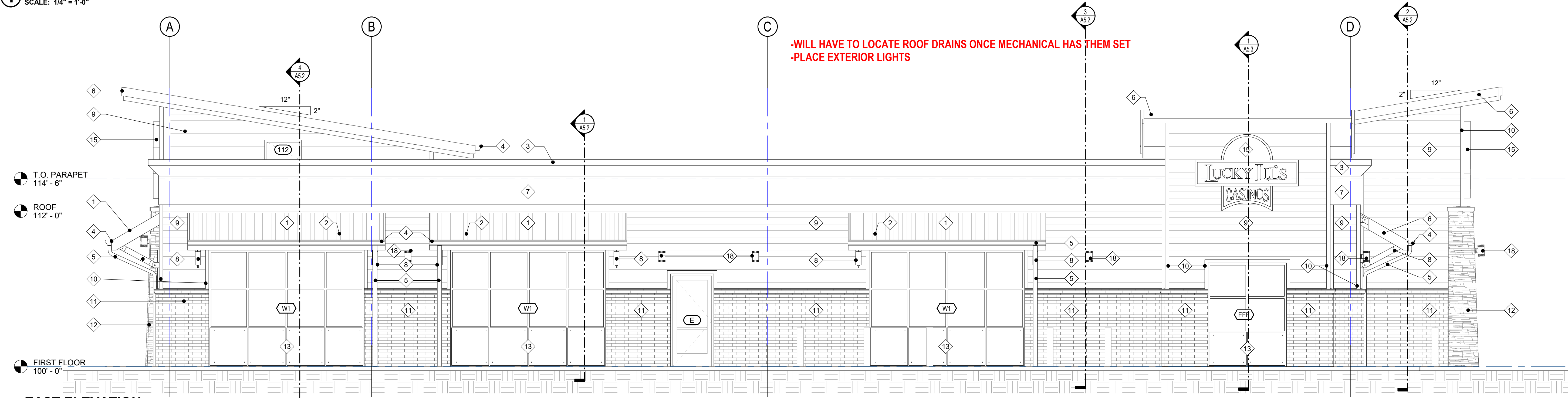
CWG  
Architecture  
Interior  
650 Power St.  
P.O. Box 1198  
Helena, MT 59624  
cwg@cwg-architects.com  
(406)443-2340  
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| REVISIONS |      |
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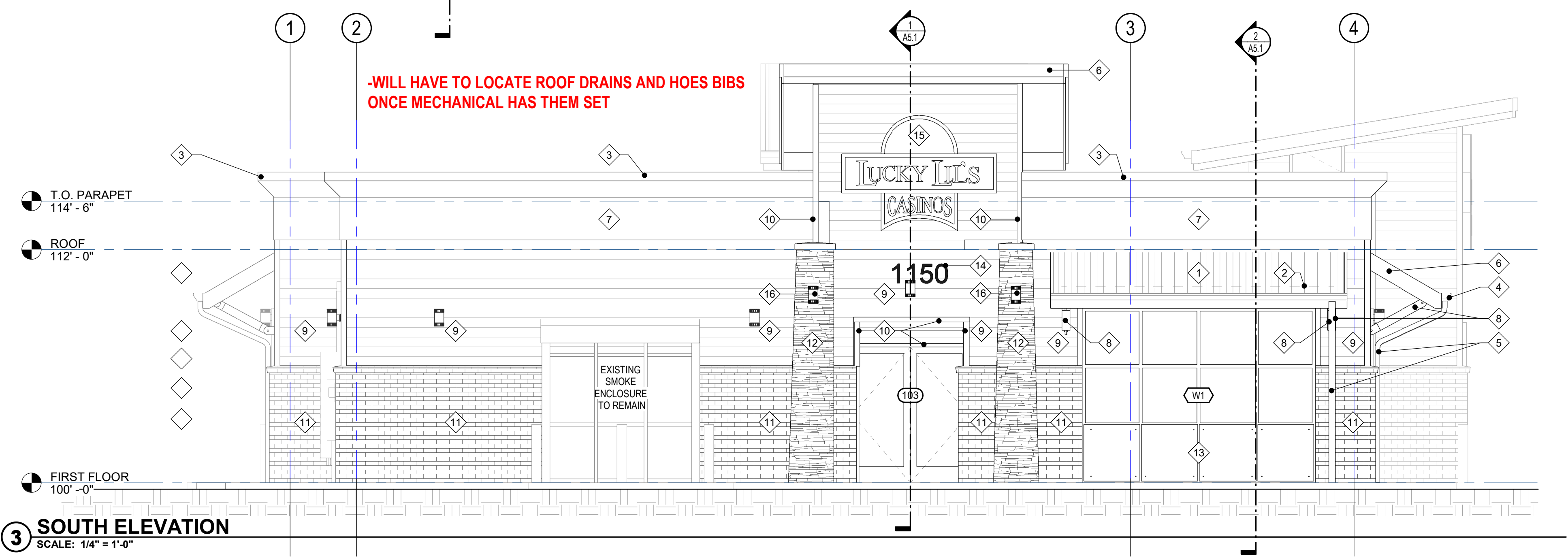
**-WILL HAVE TO LOCATE ROOF DRAINS ONCE MECHANICAL HAS THEM SET**  
**-PLACE EXTERIOR LIGHTS ALL THE WAY AROUND THE BUILDING, WILL ADJUST AFTER ELECTRICAL MAKES CHANGES**

**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**-WILL HAVE TO LOCATE ROOF DRAINS ONCE MECHANICAL HAS THEM SET**  
**-PLACE EXTERIOR LIGHTS**

**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



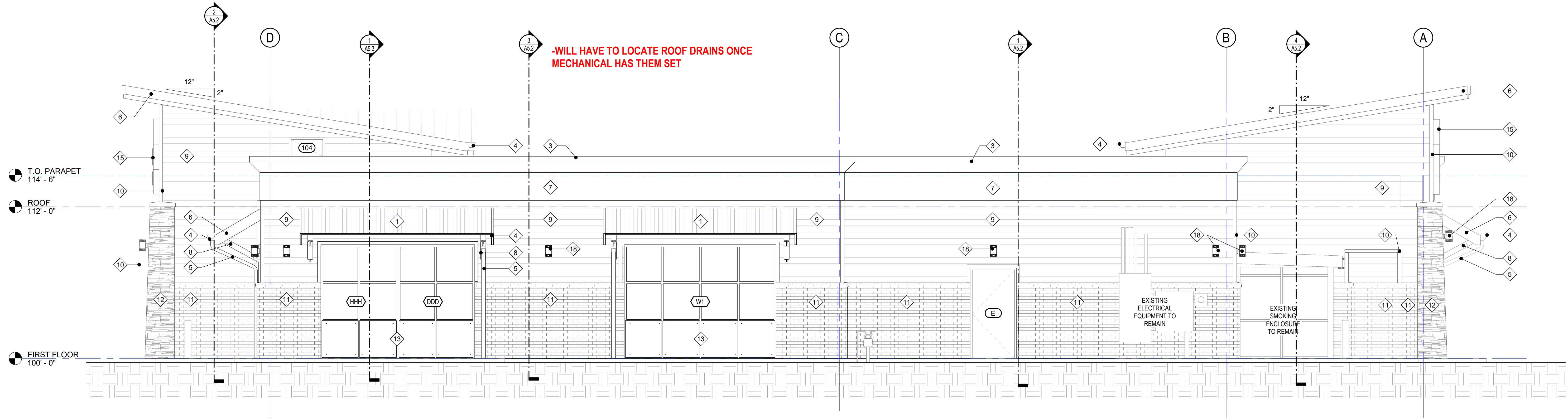
**-WILL HAVE TO LOCATE ROOF DRAINS AND HOES BIBS ONCE MECHANICAL HAS THEM SET**

**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

| EXTERIOR FINISH LEGEND  |  |
|---|--|
| <b>GENERAL NOTES:</b>   |  |
| <ul style="list-style-type: none"> <li>EXTERIOR MATERIALS MARKED WITH THE <math>\diamond</math> SYMBOL REFER TO MATERIALS LISTED BELOW. SEE EXTERIOR ELEVATIONS FOR LOCATIONS.</li> <li>SEE SPECIFICATIONS FOR FULL DESCRIPTION OF MATERIALS.</li> <li>SIGNAGE FURNISHED AND INSTALLED BY OTHERS.</li> <li>FASCIA AND CORNICE FURNISHED AND INSTALLED BY OTHERS.</li> </ul> |  |
| 1   | PREFINISHED STANDING SEAM METAL ROOFING PANELS, COLOR, COPPER  |
| 2   | SNOW GUARD, COLOR TO MATCH ROOF, SEE 4 / A3.2  |
| 3   | PREFINISHED METAL PARAPET CAP, COLOR DARK BRONZE, AND  |
| 4   | PREFINISHED METAL SEAMLESS GUTTER WITH 3x4 PRE-FINISHED SEAMLESS DOWNSPOUT, COLOR TO MATCH ROOF, SEE 1 / A3.2 AND SEE 2 / A3.2 |
| 5   | 3x4 PREFINISHED SEAMLESS DOWNSPOUT, COLOR TO MATCH ROOF.   |
| 6   | PREFINISHED METAL FASCIA, COLOR TO MATCH ROOF  |
| 7   | PREFINISHED METAL PANELS, COLOR COPPER   |
| 8   | AWNING BRACE, Ref  |
| 9   | CEMENT BOARD SIDING, COLOR SMOKY ALDER   |
| 10  | CEMENT BOARD TRIM AND CORNER BOARD, COLOR TO MATCH SIDING  |
| 11  | BRICK VENEER WITH ROWLOCK, FOR COLOR SEE SPECIFICATIONS.   |
| 12  | STONE VENEER, FOR COLOR SEE SPECIFICATIONS   |
| 13  | PREFINISHED MAPES PANELS, BEHIND METAL PANEL, SEE WINDOW ELEVATION, NOTES, AND SPECIFICATIONS                                  |
| 14  | BUILDING NUMBER, SEE SPECIFICATION   |
| 15  | SIGNAGE BY OTHERS  |
| 16  | ELECTRICAL MDP, SEE ELECTRICAL AND   |
| 17  | CARBINIZOR FILL STATION  |
| 18  | EXTERIOR WALL MOUNTED LIGHT, SEE ELECTRICAL  |
| 19  | HOSE BIB, SEE MECHANICAL   |
| 20  | BIRD NETTING, SEE 2 / A3.2   |
| 21  | NEON LIGHTING, BY OTHERS   |
| 22  | ROOF OVERFLOW LEADER, SEE MECHANICAL   |
| 23  | FIRE DEPARTMENT CONNECTION   |
| 24  | SIDEWALK, SEE CIVIL  |
| 25  | BOLLARD, SEE CIVIL, AND PAINT  |
| 26  | FIRE SPRINKLER DRAIN   |
| $\diamond$  |  |

**TOWN PUMP, INC. HELENA 4 RE2 LLC**  
**HELENA #4 LUCKY LIL'S REMODEL**  
 1150 ENTERPRISE DR. HELENA, MONTANA  
**BUILDING ELEVATIONS**  
 600 S. MAIN  
 P.O. BOX 6000  
 BUTTE, MONTANA 59702

4182-46-07  
DRAWN BY ER  
APPROVED CWG  
DATE 10.9.2023  
**A4.1**



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

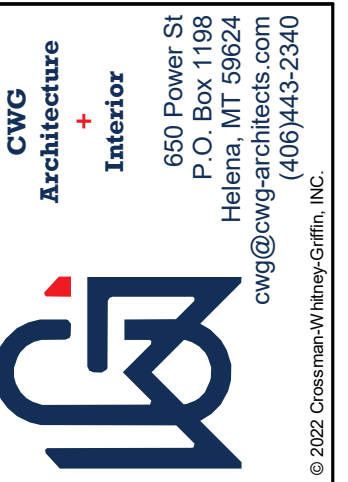
**EXTERIOR FINISH LEGEND**

| GENERAL NOTES:  |   |
|---|---|
| <ul style="list-style-type: none"> <li>EXTERIOR MATERIALS MARKED WITH THE  SYMBOL REFER TO MATERIALS LISTED BELOW. SEE EXTERIOR ELEVATIONS FOR LOCATIONS.</li> <li>SEE SPECIFICATIONS FOR FULL DESCRIPTION OF MATERIALS.</li> <li>SIGNAGE FURNISHED AND INSTALLED BY OTHERS.</li> <li>FASCIA AND CORNICE FURNISHED AND INSTALLED BY OTHERS.</li> </ul>  |   |
| <ul style="list-style-type: none"> <li> PREFINISHED STANDING SEAM METAL ROOFING PANELS. COLOR: COPPER</li> <li> SNOW GUARD, COLOR TO MATCH ROOF. SEE 4 / A3.2</li> <li> PREFINISHED METAL PARAPET CAP. COLOR DARK BRONZE, AND</li> <li> PREFINISHED METAL SEAMLESS GUTTER WITH 3x4 PREFINISHED SEAMLESS DOWNSPOUT. COLOR TO MATCH ROOF. SEE 1 / A3.2 AND SEE 2 / A3.2</li> <li> 3x4 PREFINISHED SEAMLESS DOWNSPOUT. COLOR TO MATCH ROOF.</li> <li> PREFINISHED METAL FASCIA. COLOR TO MATCH ROOF</li> <li> PREFINISHED METAL PANELS. COLOR COPPER</li> <li> AWNING BRACE. Ref</li> <li> CEMENT BOARD SIDING. COLOR SMOKY ALDER</li> <li> CEMENT BOARD TRIM AND CORNER BOARD. COLOR TO MATCH SIDING</li> <li> BRICK VENEER WITH ROWLOCK. FOR COLOR SEE SPECIFICATIONS.</li> <li> STONE VENEER. FOR COLOR SEE SPECIFICATIONS</li> <li> PREFINISHED MAPES PANELS. BEHIND METAL PANEL. SEE WINDOW ELEVATION, NOTES, AND SPECIFICATIONS</li> </ul> | <ul style="list-style-type: none"> <li> BUILDING NUMBER. SEE SPECIFICATION</li> <li> SIGNAGE. BY OTHERS</li> <li> ELECTRICAL MDP. SEE ELECTRICAL AND</li> <li> CARBINIZOR FILL STATION</li> <li> EXTERIOR WALL MOUNTED LIGHT. SEE ELECTRICAL</li> <li> HOSE BIB. SEE MECHANICAL</li> <li> BIRD NETTING. SEE 2 / A3.2</li> <li> NEON LIGHTING. BY OTHERS</li> <li> ROOF OVERFLOW LEADER. SEE MECHANICAL</li> <li> FIRE DEPARTMENT CONNECTION</li> <li> SIDEWALK. SEE CIVIL</li> <li> BOLLARD. SEE CIVIL, AND PAINT</li> <li> FIRE SPRINKLER DRAIN</li> <li></li> </ul> |

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**PROGRESS  
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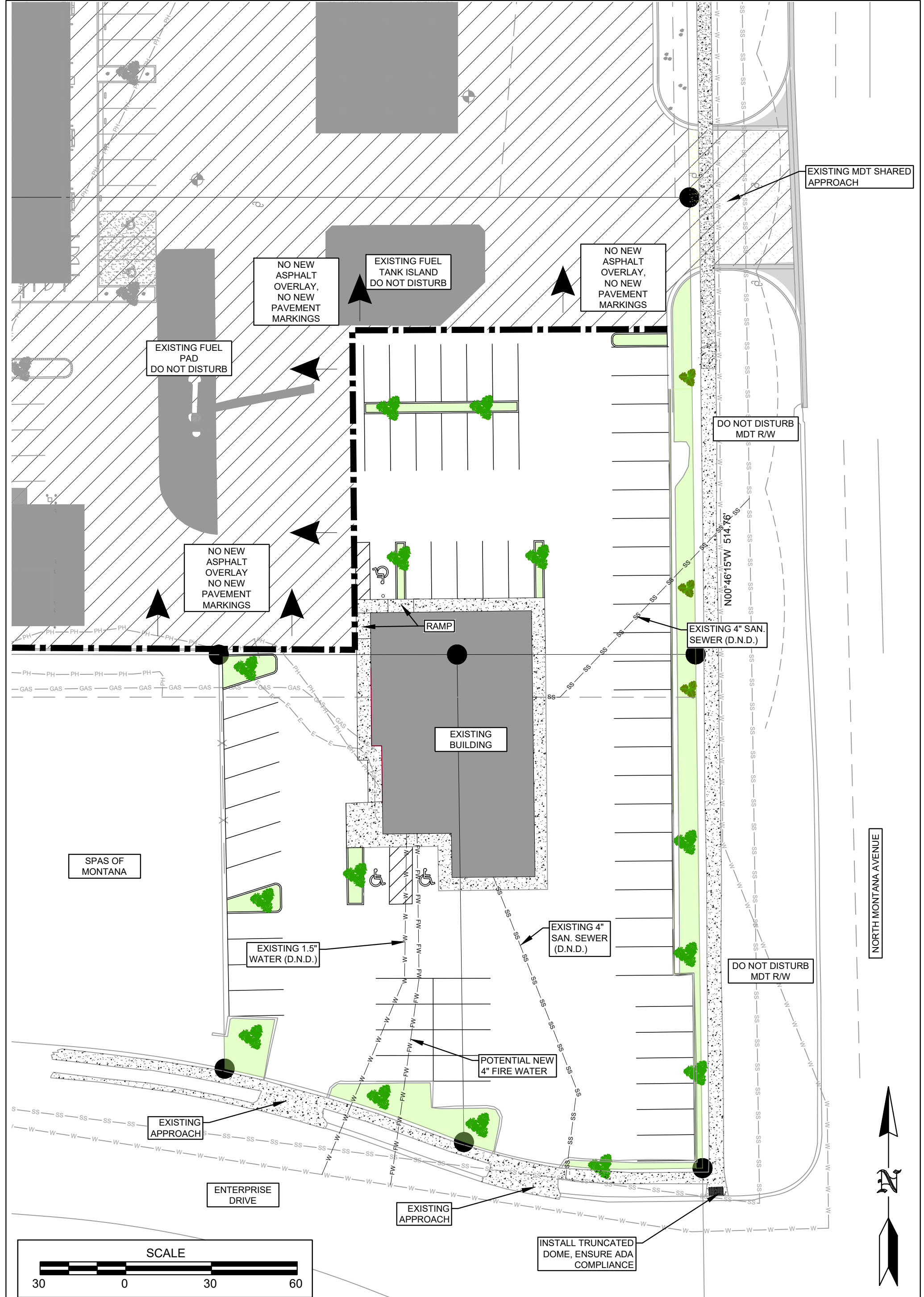
**TOWN PUMP, INC.**  
HELENA 4 RE2 LLC  
HELENA #4 LUCKY LIL'S REMODEL  
1150 ENTERPRISE DR. HELENA, MONTANA  
BUILDING ELEVATION & DETAILS

**TOWN PUMP**  
600 S. MAIN  
P.O. BOX 6000  
BUTTE, MONTANA 59702

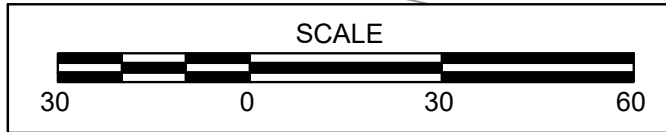
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DRAWN BY ER  
APPROVED CWG  
DATE 10.9.2023

**A4.2**





SPAS OF MONTANA



Project:  
**TOWN PUMP #4 CASINO REMODEL**  
 HAGLER WADDELL SUB, S19, T10N, R03W,  
 BLOCK 1, LOT 7-8 COS 381310  
 HELENA, MONTANA

Date: 10/12/2023  
 Sheet: SHEET 1 OF 1  
 Scale: As-Shown

Sheet Title:  
**PRELIMINARY SITE PLAN - HELENA #4**

Casne & Associates, Inc.  
 PO Box 1123  
 Helena, Montana 59624  
 (406) 443-1656  
 ryan@casneinc.com

