



DATE RECEIVED:

# City of Helena Pre-Application Information Form

Please fill out this form as best you can and return to the City Planning Office **five (5) days prior** to your pre-application meeting. If you have any problems filling out this form, please call the City Planning Office at 447-8490 and we will be happy to assist you.

**PLEASE CHECK ONE:**     **SUBDIVISION**     **NON-SUBDIVISION**

1. Name of Applicant: JORDAN LIND & JERAMY PETERSON  
Name of Property Owner (if different): HELLGATE CAPITAL LLC  
Address/City/State/Zip: 3083 RUSTLER DRIVE MISSOULA, MT 59808-5424  
Email: JLIND@CLEARASSOLUTIONS.COM    Primary Phone: 406-370-2612  
Secondary Phone: \_\_\_\_\_

2. Contact person: RYAN CASNE    Primary Phone: 406-443-1656  
Email: RYAN@CASNEINC.COM    Secondary Phone: \_\_\_\_\_

3. Legal Description and general location: 1409 POPLAR STREET PROPERTIES; SPECIFICALLY LOTS 2-R & 4-R OF BLOCK 13 OF THE FLOWER GARDEN ADDITION, COS #325377

***Please provide a general vicinity map, showing existing streets, north arrow and the proposed location of the site.***

4. Describe land use proposal (CUP, zone change, etc.): MINOR SUBDIVISION, SINGLE-FAMILY RESIDENTIAL

5. What, if any, is the existing zoning? R-3-T

6. Do you plan to hire an engineer? Yes  No  Do you plan to hire a surveyor? Yes  No

7. Are you aware of any site conditions that may affect development? NO

8. Describe proposed water and sewer system: SERVICE CONNECTIONS TO EXISTING WATER AND SEWER MAINS LOCATED WITHIN POPLAR STREET.

9. Describe proposed streets/access: TWO NEW CURB CUTS/APPROACHES (ONE SHARED, ONE INDIVIDUAL) ONTO POPLAR STREET

10. Do you intend to apply for a variance? NO

11. Describe drainage provisions (if applicable): THERE IS A PROPOSED STORMWATER POND ON LOT 4-R1 THAT WILL ACCEPT WATER FROM THE NEW IMPERVIOUS AREAS ASSOCIATED WITH THE DEVELOPMENT.

**For Subdivision Pre-Application Conference, please complete the following additional information:**

12. Name of proposed subdivision: 1409 POPLAR STREET MINOR

13. Number and size of lots: 4 LOTS, EACH APPROX 5,000SF approximate size of subdivision: 0.482 ACRES

14. How do you intend to meet the park dedication requirement?  cash donation     park dedication  
 Combination     n/a

***Please include a sketch of the proposed subdivision showing the layout of the existing streets in relation to the site.***

## SUBDIVISION PRE-APPLICATION CONFERENCE

- A. Prior to submitting a preliminary plat application, a subdivider for a subdivision must consult with the Planning division of the Community Development Department to become familiar with the City's subdivision application requirements and review process. The subdivider must attend a pre-application meeting prior to submitting a subdivision application or resubmitting a previously submitted subdivision application that has material changes or amendments made by the subdivider after the original application has been determined by the City to contain required elements and sufficient information.
- B. The pre-application meeting will be scheduled within thirty (30) days after the subdivider submits a written request for a pre-application consultation and submits the pre-application materials to the City.
- C. To be considered for review, a subdivision application must be submitted within one hundred eighty (180) days of the pre-application meeting consultation. If an application is not submitted within that time frame, the subdivider must request a new pre-application consultation prior to submitting the subdivision application.
- D. In order to make the pre-application consultation productive, the subdivider should provide as much of the following information as possible:
- 1. Names and addresses of the subdivider and the owner of the property proposed to be subdivided;
  - 2. Name of proposed subdivision;
  - 3. Location of the property to be subdivided;
  - 4. Existing zoning of the property to be subdivided;
  - 5. Number and size of proposed subdivided lots;
  - 6. Size of the proposed subdivision;
  - 7. Name and contact information for any engineer or surveyor that have been retained;
  - 8. Proposed water and wastewater systems;
  - 9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems;
  - 10. Proposed streets;
  - 11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance;
  - 12. Description of any physical and environmental site conditions on the property;
  - 13. Stormwater drainage system;
  - 14. Proposed special improvement or maintenance districts;
  - 15. Proposed park land dedication;
  - 16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible (drawing does not need to be to scale);
  - 17. A general vicinity map showing existing streets and north arrow;
  - 18. Existing structures on the property;
  - 19. Existing easements and right-of-ways on the property;
  - 20. Existing and proposed covenants or deed restrictions;
  - 21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion;
  - 22. Types and locations of agricultural water facilities; and
  - 23. Analysis on how the proposed subdivision complies with the City Growth Policy.

## **Applicable Laws and Regulations**

The following are state laws, local regulations, Growth Policy provisions and other documents that may apply to the subdivision review process; this is for informational purposes only per MCA 76-3-504 (1)(q)(ii):

- Montana Code Annotated: including but not limited to Title 76 – Chapter 3
- Administrative Rules of Montana: including but not limited to Title 8, Chapter 94, Sub-chapter 30
- City of Helena City Code: including but not limited to Title 6 Public Utilities  
Title 7 Public  
Ways Title 11  
Zoning, and  
Title 12 Subdivision Regulations
- 2011 City of Helena Growth Policy
- Greater Helena Area Transportation Plan – 2004 Update
- 2011 City of Helena Comprehensive Parks, Recreation, and Open Space Plan
- City of Helena Engineering Standards
- South Hills Planning Study – 1985
- Helena West Side Infrastructure Study – 2001

## **Comment Contact List**

The following entities may be contacted for comments on proposed subdivisions per MCA 76-3-504 (1)(q)(iii). The City requests these entities respond within two (2) weeks of receiving the City's "Request for Comment." Although the City requests that these entities respond within two (2) weeks, they may comment at any time during the subdivision review process. Applications for subdivision review will not be delayed if these entities do not respond within the review period.

- ADA Compliance Committee
- City of East Helena
- City of Helena
- East Helena Public Schools
- Fort Harrison
- Helena Citizen's Council (HCC)
- Helena Regional Airport
- Helena School District
- Helena Valley Irrigation District
- Jefferson County
- Lewis and Clark County
- Lewis and Clark County Water Quality Protection District
- Lewis and Clark County Soil Conservation District
- Montana Department of Environmental Quality
- Montana Department of Fish, Wildlife, and Parks
- Montana Department of Natural Resources and Conservation
- Montana Department of Transportation
- Montana Land Reliance
- Montana Natural Heritage Program
- Non-motorized Transportation Advisory Council
- NorthWestern Energy
- St. Peter's Hospital and Ambulance Service
- State Historic Preservation Office
- City-County Heritage Tourism Council
- Three Rivers Communications

- U.S. Army Corps of Engineers
- U.S. Bureau of Land Management
- U.S. Environmental Protection Agency
- U.S. Fish and Wildlife Service
- U.S. Forest Service
- U.S. Geological Survey, Water Resources Division
- U.S. Post Office
- Utility companies including those providing electrical, communication, fiber optic, gas, or other services
- Yellowstone Pipe Line Company

1. Names and addresses of the subdivider and the owner of the property to be subdivided

Jordan Lind & Jeramy Peterson  
Hellgate Capital LLC  
3083 Rustler Drive Missoula, Mt 59808-5424

2. Name of proposed subdivision

1409 Poplar Minor

3. Location of the property to be subdivided

1409 Poplar Street, Helena MT

4. Existing Zoning of the property to be subdivided

R-3-T Transitional Residential

5. Number and size of proposed subdivided lots

4 lots, Lot 2R-1 2,573 sq ft, Lot 4R-1 2,452 sq ft, Lot 2R-2 5,881 sq ft, Lot 4R-2 2,424 sq ft.

6. Size of proposed subdivision

0.48 acres

7. Name and Contact information for any engineer or surveyor that have been retained

Ryan Casne  
Casne & Associates  
664 Logan Street  
Helena, Mt 59601  
(406) 443-1656  
ryan@casneinc.com

8. Proposed water and wastewater systems

Water and wastewater utilities will be provided via connection to the City of Helena Municipal Water System.

9. Nearest existing water and wastewater mains to the property and type, size, and location of existing wastewater treatment facilities, including septic systems

See the attached site plan

10. Proposed Streets

There are no proposed streets as part of this project.

11. Whether the subdivider intends to apply for a zone change, zoning variance, or subdivision regulation variance

No variances will be applied for.

12. Description of any physical and environmental site conditions on the property

The site currently has one house and one garage constructed on it.

13. Stormwater drainage system

Stormwater will be managed by a new on-site stormwater pond

14. Proposed special improvement or maintenance districts

No special improvement or maintenance districts have been proposed as part of this project.

15. Proposed parkland dedication

Cash-in-lieu is planned to be given.

16. Legible drawing of the proposed subdivision showing layout of existing streets in relationship to proposed improvements and topography of the tract, if possible.

See the attached site plan

17. A general vicinity map showing existing streets and north arrow.

See the attached vicinity map.

18. Existing structures on the property.

There is currently an existing house and an existing garage on the property, see the attached site plan for more details.

19. Existing easements and right-of-ways on the property.

See the attached site plan for more information regarding existing easements and right-of ways.

20. Existing and proposed covenants or deed restrictions

There are no existing or proposed covenants or deed restrictions as part of this project.

21. Water rights, including the name of owner(s), amount of water by flow rate or volume, date of priority of the right, purpose of use, place of use, and place and means of diversion.

There are no water rights associated with this property.

**22. Types and location of agricultural water facilities**

There are no agricultural water facilities associated with this property.

**23. Analysis of how the proposed subdivision complies with the City Growth Policy**

Please see the attachment: "Analysis of how the proposed subdivision complies with the growth policy"

## **Analysis of how the proposed subdivision complies with the growth policy.**

The 2019 City of Helena Growth policy has been carefully reviewed as part of the preparation of this application. In particular, the following objectives have been found to be relevant to this project:

[O.12] Promote and maintain development of a diverse housing stock, helping to: • Minimize depletion of natural resources; • Reduce land consumption and demands on the physical environment; • Provide housing options for all residents; • Optimize infrastructure use; • Prepare Helena to meet emerging needs.

*This objective is met in several ways through the development of this project. Depletion of natural resources will be minimized in part because the project will encompass infilling of an existing residential lot. This infilling will also reduce land consumption by making the most of an existing development. Additional housing options will be provided for existing residents as well as future residents to the City of Helena.*

[O.14] Support the development of housing located in proximity to necessary services and quality of life assets, including generalized physical, technological, social and economic infrastructure.

*This subdivision will provide additional housing units in close proximity to several quality of life assets, including, but not limited to, assisted living facilities, recreational facilities, and schools. There are also several commercial businesses and grocery stores within the immediate area of development.*

[O.29] Promote energy efficiency and the use of renewable energy in new and existing development, minimizing impacts on natural resources and the environment through measures including, as appropriate: • Development standards; • Land use regulations; • Public/private partnerships; • Public education; • Tax or other monetary incentives.

*The newest standards of home construction will be employed within this development including efforts targeting energy efficiency and renewable resource usage.*

[O.44] Prefer transportation designs that: • Preserve natural viewsheds; • Are compatible with historic resources; • Minimize construction cut-and-fill on slopes.

*Because this subdivision will be created by infilling an existing lot, no new thoroughfares will be created and the impact to existing streets and natural viewsheds will be insignificant.*



[O.52] Encourage 'green' building and renewable energy investments, helping promote: • Provision of local jobs; • Increased property values; • Reduced energy costs; • Helena's long-term sustainability.

*The newest standards of home construction will be employed within this development including efforts targeting energy efficiency and renewable resource usage.*

[O.53] Preserve habitat areas identified by the Endangered Species Act or as important to wildlife identified by the State of Montana as species of conservation concern.

*Research has been conducted as part of this project and no habitat areas, riparian areas, or other wetlands, identified by the State of Montana have been found within the boundary of the subdivision.*

[O.61] Promote landscaping guidelines that: • Maintain or restore native trees and vegetative cover; • Support locally-compatible species diversity; • Re-vegetate disturbed areas; • Beautify streets, entry corridors, roadways and parking lots; • Help calm traffic; • Help treat and address stormwater issues.

*Any disturbed landscaping as part of this project will be restored with appropriately selected, locally compatible species. Existing stormwater infrastructure will be utilized for stormwater management on this project site.*

[O.78] Encourage infill development on vacant and under-utilized land within the city, directing growth to areas currently served by, or in close proximity to, existing infrastructure and that harmonizes with the character of existing neighborhoods.

*The lot for which this project is to be subdivided could be considered under-utilized and 100% of this project will be infill development. This area is already served by an existing infrastructure and is in close proximity to many local services and areas of interest. Finally, care will be taken to ensure that any future development in the area harmonizes with the character of the existing neighborhood.*

[O.86] Promote the redevelopment of vacant or under-utilized properties with a mix of uses, supporting local and citywide objectives.

*As this is an under-utilized property, the rationale for development coordinates with Object 86 as stated above. One of the primary citywide objectives is to plan for and accommodate future growth, this subdivision works well to that end.*

ZONING LEGEND	
ZONING DISTRICT	R-3 T # 25 (RESIDENTIAL)
LOT AREA	NO MINIMUM
LOT COVERAGE	40% MAXIMUM
FRONT LOT LINE SETBACK	10' MINIMUM
REAR LOT LINE SETBACK	10' MINIMUM
SIDE LOT LINE SETBACK	6' MINIMUM FOR EACH SIDE YARD
HEIGHT (SINGLE FAMILY ONLY)	24' MAXIMUM

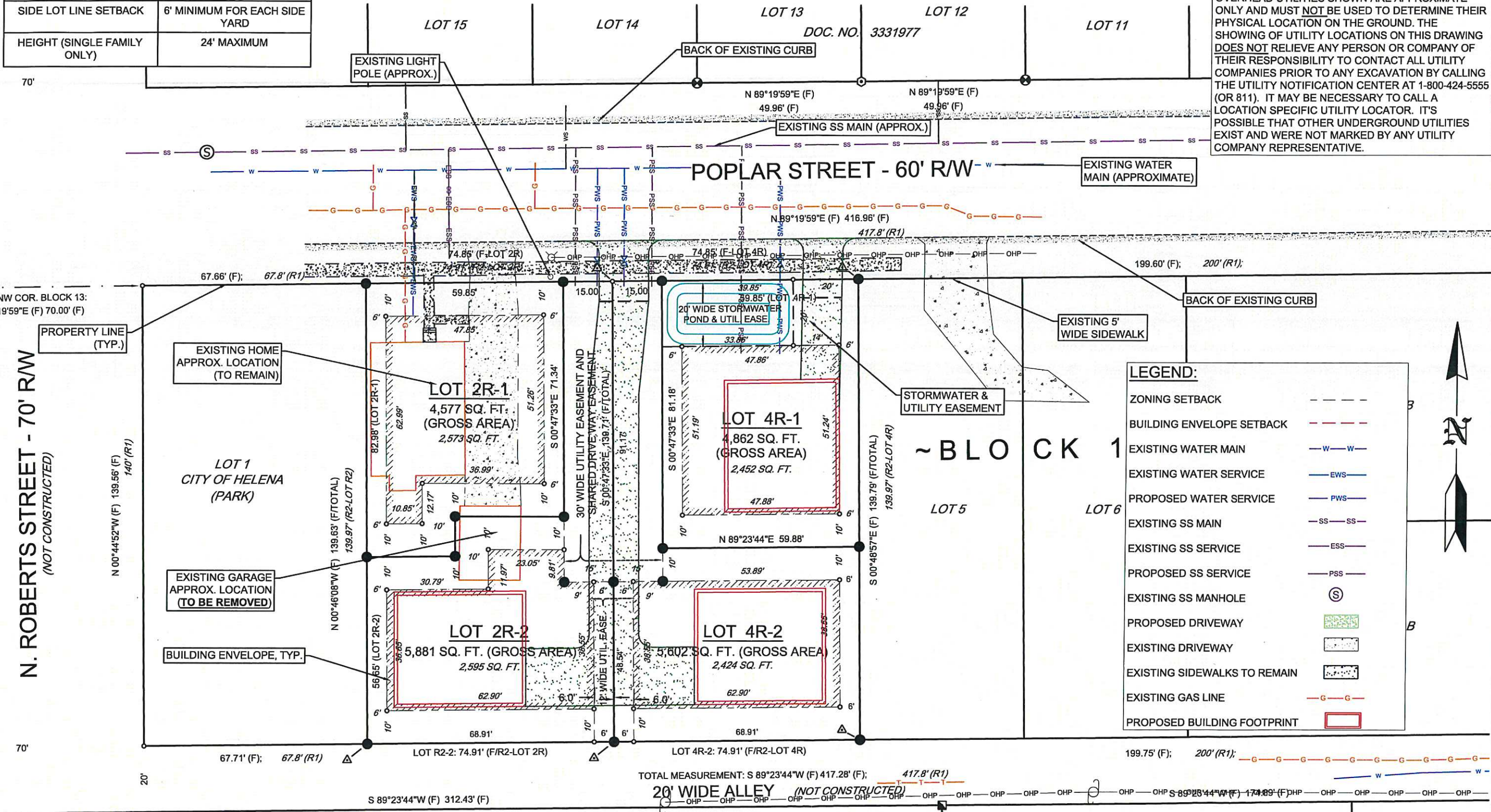
**EASEMENT NOTES:**  
 DRAWINGS BY CASNE & ASSOCIATES, INC. DO NOT DEPICT LEGAL AND RECORDED EASEMENTS. SUCH EASEMENTS CAN BE FOUND ON THE PROPER LEGAL AND RECORDED DOCUMENT(S) WHICH MAY INCLUDE FINAL PLATS, CERTIFICATES OF SURVEY, SPECIFIC BOOKS AND PAGE NUMBERS AT THE COUNTY CLERK AND RECORDER'S OFFICE, ETC.

**UTILITY NOTES:**  
 UNDERGROUND UTILITIES ARE SHOWN AS LOCATED BY THE SURVEYOR, UTILITY COMPANY REPRESENTATIVES, VARIOUS RECORDS, AND/OR SURFACE MARKINGS PLACED BY THE UTILITY COMPANY REPRESENTATIVES, NOT ACTUAL PHYSICAL LOCATIONS. ACTUAL UTILITY DEPTHS VARY AND ARE UNKNOWN. UNDERGROUND AND OVERHEAD UTILITIES SHOWN ARE APPROXIMATE ONLY AND MUST NOT BE USED TO DETERMINE THEIR PHYSICAL LOCATION ON THE GROUND. THE SHOWING OF UTILITY LOCATIONS ON THIS DRAWING DOES NOT RELIEVE ANY PERSON OR COMPANY OF THEIR RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION BY CALLING THE UTILITY NOTIFICATION CENTER AT 1-800-424-5555 (OR 811). IT MAY BE NECESSARY TO CALL A LOCATION SPECIFIC UTILITY LOCATOR. IT'S POSSIBLE THAT OTHER UNDERGROUND UTILITIES EXIST AND WERE NOT MARKED BY ANY UTILITY COMPANY REPRESENTATIVE.



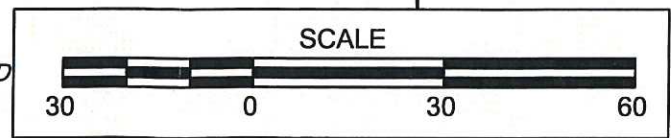
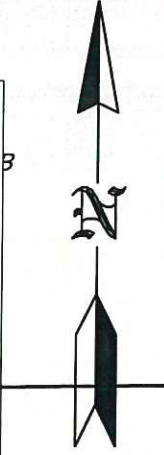
Casne & Associates, Inc.  
 PO Box 1123  
 Helena, Montana 59624  
 (406) 443-1656  
 ryan@casneinc.com

**SUBSEQUENT MINOR SUBDIVISION LOT LAYOUT**



**LEGEND:**

ZONING SETBACK	---
BUILDING ENVELOPE SETBACK	---
EXISTING WATER MAIN	—W—W—
EXISTING WATER SERVICE	—EWS—
PROPOSED WATER SERVICE	—PWS—
EXISTING SS MAIN	—SS—SS—
EXISTING SS SERVICE	—ESS—
PROPOSED SS SERVICE	—PSS—
EXISTING SS MANHOLE	⊙
PROPOSED DRIVEWAY	▨
EXISTING DRIVEWAY	▨
EXISTING SIDEWALKS TO REMAIN	▨
EXISTING GAS LINE	—G—G—
PROPOSED BUILDING FOOTPRINT	▭



LINCOLN SCHOOL PARK A  
 DOC. NO. 3067576

Sheet Title:  
 Project:  
 1409 POPLAR MINOR  
 LOT 2-R AND LOT 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION  
 1409 POPLAR STREET  
 HELENA, MONTANA, 59601

Date:  
 3/3/2023  
 Sheet:  
 SHEET 1 OF 1  
 Scale:  
 As-Shown

P:\2022 Projects\Lincoln School Park A\Minor Sub\CD\WORKING DRAWINGS\WORKING DRAWING 5.dwg 3/3/2023 2:47 PM

VICINITY MAP

Sheet Title:

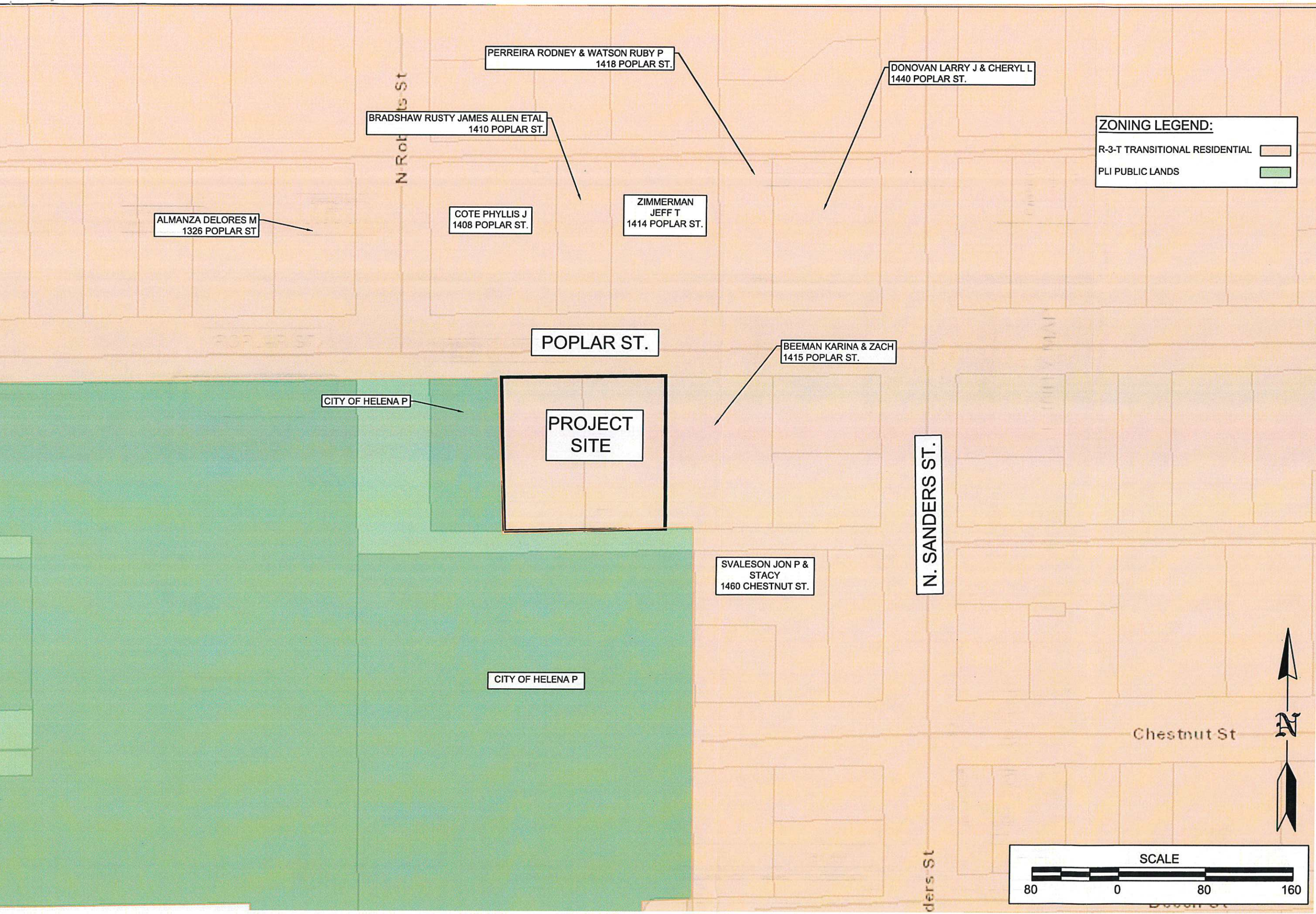
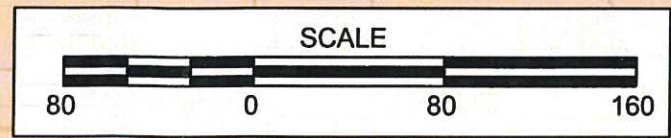
Project: **1409 POPLAR MINOR**  
 LOT 2-R AND LOT 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION  
 1409 POPLAR STREET  
 HELENA, MONTANA, 59601

Date: 3/3/2023  
 Sheet: SHEET 1 OF 1  
 Scale: As-Shown

**ZONING LEGEND:**

R-3-T TRANSITIONAL RESIDENTIAL 

PLI PUBLIC LANDS 



# AMENDED PLAT OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA

**PURPOSE: FOUR (4) LOT MINOR SUBDIVISION**  
**COMMISSIONED BY: HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY**

**CERTIFICATE OF DEDICATION:**

I/WE, THE UNDERSIGNED, HEREBY CERTIFY, THAT I/WE HAVE CAUSED TO BE SURVEYED, SUBDIVIDED, AND PLATTED INTO LOTS AND EASEMENTS, AS SHOWN BY THIS PLAT HERETO ANNEXED; THE FOLLOWING DESCRIBED LAND IN THE CITY OF HELENA, LEWIS AND CLARK COUNTY, MONTANA TO WIT:

**LEGAL DESCRIPTION: PERIMETER**

A TRACT OF LAND LOCATED IN THE SW 1/4 OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 3 WEST, P.M. MONTANA, LEWIS AND CLARK COUNTY, BEING ALL OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4, BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA (DOC. NO. 325377), MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 1 IN BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA (PLAT NO. 777);  
THENCE N 89°19'59"E, 74.85 FEET ALONG THE SOUTH RIGHT-OF-WAY LIMIT OF POPLAR STREET TO THE NORTHWEST CORNER OF LOT 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4, BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA (DOC. NO. 325377);  
THENCE N 89°19'59"E, 74.85 FEET ALONG THE SOUTH RIGHT-OF-WAY LIMIT OF POPLAR STREET TO THE NORTHWEST CORNER LOT 5 OF THE FLOWER GARDEN ADDITION TO HELENA (PLAT NO. 777);  
THENCE S 00°48'57"E, 139.79 FEET TO THE SOUTHWEST CORNER OF LOT 5 OF THE FLOWER GARDEN ADDITION TO HELENA (PLAT NO. 777);  
THENCE S 89°23'44"W, 74.91 FEET TO THE SOUTHEAST CORNER OF LOT 2-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4, BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA (DOC. NO. 325377);  
THENCE S 89°23'44"W, 74.91 FEET TO THE SOUTHEAST CORNER OF LOT 1 IN BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA (PLAT NO. 777);  
THENCE N 00°45'08"W, 139.63 FEET ALONG THE EAST LINE OF LOT 1 IN BLOCK 13 OF THE FLOWER GARDEN ADDITION TO HELENA (PLAT NO. 777) TO THE POINT OF BEGINNING. THE TRACT OF LAND CONTAINS 20,922 SQUARE FEET MORE OR LESS AND SUBJECT TO ALL EXISTING/RECORDED EASEMENTS, DOCUMENTS OF RECORD AND EASEMENTS SHOWN ON THIS AMENDED PLAT.  
THE ABOVE TRACT IS TO BE KNOWN AND DESIGNATED AS 'AMENDED PLAT OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA'.

**CERTIFICATE OF COUNTY TREASURER:**

I, HEREBY CERTIFY, PURSUANT TO SECTION 76-3-611(1)(b) OF MCA, THAT ALL REAL PROPERTY TAXES AND SPECIAL ASSESSMENTS ASSESSED AND LEVIED ON THE LAND DESCRIBED ON THIS PLAT AND ENCOMPASSED BY THE PROPOSED 'AMENDED PLAT OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA', HAVE BEEN PAID.

GEO CODE: 05-1888-20-3-13-02-0000, ASSESSMENT CODE: 0000036846,  
GEO CODE: 05-1888-20-3-13-04-0000, ASSESSMENT CODE: 0000006795.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
TREASURER, LEWIS AND CLARK COUNTY, MONTANA.

**RESTRICTIVE COVENANTS:**

RECORDED IN M BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

**NOTATIONS:**

- (1) THE UNDERSIGNED, HEREBY GRANTS UNTO EACH AND EVERY PERSON, FIRM OR CORPORATION -- WHETHER PUBLIC OR PRIVATE -- PROVIDING OR OFFERING TO PROVIDE TELEPHONE, TELEGRAPH, ELECTRIC POWER, GAS, CABLE TELEVISION, STORM WATER NEEDS/MAINTENANCE, WATER OR SEWER SERVICE TO THE PUBLIC; THE RIGHT TO THE JOINT USE OF (AND INGRESS AND EGRESS TO AND FROM AND ACROSS) AN EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, AND REMOVAL OF THEIR LINES AND OTHER FACILITIES, IN, OVER, UNDER AND ACROSS EACH AREA DESIGNATED ON THIS PLAT AS "UTILITY EASEMENT" TO HAVE AND HOLD FOREVER -- TOGETHER AS DEFINED BY MONTANA LAW AND WITH THE FOLLOWING CONDITIONS: (A) NO PERMANENT STRUCTURES MAY BE PLACED ON THE EASEMENT; (B) FEATURES SUCH AS FENCING OR LANDSCAPING ARE SUBJECT TO BEING TORN UP/REMOVED FOR MAINTENANCE NEEDS OR EXTENSION OF SERVICES.
- (2) THE UNDERSIGNED, HEREBY CREATE THE 30 FOOT WIDE "SHARED DRIVE WAY EASEMENT" LOCATED WITHIN LOTS 2R-2 AND 4R-2, AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SEE SHEET 2 OF 2) WITH THE FOLLOWING CONDITIONS:
  - (A) EASEMENT SHALL PERMIT INGRESS/EGRESS TO THE LAND OWNER(S) OF LOTS 2R-2 AND 4R-2, EXCLUSIVELY, AND ANY PORTION THEREOF;
  - (B) ANY TYPE OF ROADWAY SURFACE IS PERMITTED;
  - (C) BORROW DITCHES/CULVERTS/ETC.. ARE PERMITTED FOR DRAINAGE;
  - (D) EASEMENT SHALL PERMIT/ALLOW POWER/PHONE/GAS/CABLE/COMMUNICATION LINES TO BE INSTALLED/MAINTAINED WITHIN SAID EASEMENT LIMITS TO THE LAND OWNERS(S) OF LOTS 2R-1, 2R-2, 4R-1, AND 4R-2;
  - (E) EASEMENT MUST WORK IN HARMONY WITH THE CREATED UTILITY EASEMENTS AND THE CREATED STORMWATER POND EASEMENT AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SHEET 2 OF 2) AND ANY EXISTING/RECORDED EASEMENTS AND DOCUMENTS OF RECORD;
  - (F) MAINTENANCE/LIABILITY OF EASEMENT IS THE RESPONSIBILITY OF THOSE SAID LAND OWNER(S) USING THE SHARED DRIVE WAY EASEMENT ACCESS/UTILITIES.
- (3) THE UNDERSIGNED, HEREBY CREATE THE 20 FOOT WIDE "STORMWATER POND EASEMENT" LOCATED WITHIN LOT 4R-1, AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SEE SHEET 2 OF 2) WITH THE FOLLOWING CONDITIONS:
  - (A) EASEMENT SHALL PERMIT A STORMWATER DETENTION POND;
  - (B) MAINTENANCE/LIABILITY OF EASEMENT IS THE RESPONSIBILITY THE LAND OWNER(S) OF LOTS 2R-1, 2R-2, 4R-1 AND 4-2;
  - (C) EASEMENT MUST WORK IN HARMONY WITH THE CREATED "SHARED DRIVE WAY EASEMENT" AND THE CREATED UTILITY EASEMENTS AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SEE SHEET 2 OF 2) AND ANY EXISTING/RECORDED EASEMENTS AND DOCUMENTS OF RECORD;
- (4) THE NEWLY CONSTRUCTED DRIVEWAYS FOR LOTS 2R-1, 2R-2, 4R-1 & 4R-2 MUST WORK IN HARMONY WITH THE CREATED "UTILITY EASEMENTS" AND THE CREATED "STORM WATER POND EASEMENT" AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SEE SHEET 2 OF 2) AND ANY EXISTING/RECORDED EASEMENTS AND DOCUMENTS OF RECORD;
- (5) THE UNDERSIGNED, HEREBY CREATE THE "BUILDING ENVELOPES" LOCATED WITHIN LOTS 2R-1, 2R-2, 4R-1 AND 4R-2 AS SHOWN AND DESCRIBED ON THIS AMENDED PLAT (SEE SHEET 2 OF 2).

ALL SAID EASEMENTS TO RUN WITH THE LAND (HIS/HER/THEIR) HEIRS, SUCCESSORS, AND/OR ASSIGNS.

OWNER: HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

THIS INSTRUMENT WAS SIGNED OR ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY \_\_\_\_\_ ACTING IN THE CAPACITY OF \_\_\_\_\_  
PRINT NAME OF SIGNER

ON BEHALF OF HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY

NOTARY SIGNATURE

OWNER: HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

THIS INSTRUMENT WAS SIGNED OR ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY \_\_\_\_\_ ACTING IN THE CAPACITY OF \_\_\_\_\_  
PRINT NAME OF SIGNER

ON BEHALF OF HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY

NOTARY SIGNATURE

**CERTIFICATE OF FINAL PLAT APPROVAL:**

THE CITY COMMISSION OF HELENA, MONTANA, DOES HEREBY CERTIFY THAT IT HAS EXAMINED THIS AMENDED PLAT OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA, AND HAVING FOUND THE SAME TO CONFORM TO LAW, APPROVES IT.

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
MAYOR - CITY OF HELENA

\_\_\_\_\_  
CITY PLANNING

\_\_\_\_\_  
ATTEST: CITY CLERK

\_\_\_\_\_  
CITY ENGINEER

**CERTIFICATE OF EXAMINING LAND SURVEYOR:**

REVIEWED FOR ERRORS AND OMISSIONS IN CALCULATIONS AND DRAFTING

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PURSUANT TO SECTION 76-3-611(2)(a), MCA.

\_\_\_\_\_  
EXAMINING LAND SURVEYOR

\_\_\_\_\_  
LICENSE NO.

**CERTIFICATE OF SURVEYOR**



\_\_\_\_\_  
DANIEL J. RIES (18368LS)  
PROFESSIONAL LAND SURVEYOR

DATE: \_\_\_\_\_

PRELIMINARY PLAT

1/4	SEC.	T.	R.
☒	20	10N	3W
☐			

P.M. MONTANA,  
LEWIS AND CLARK COUNTY.

DATE: MARCH 02, 2023  
JOB NO.: 22281-S  
FIELD BY: DJR, NFR  
DRAFTED BY: DJR



PREPARED BY:  
**RIES & ASSOCIATES PC.**  
6850 GREEN MEADOW DR.  
HELENA, MONTANA 59602

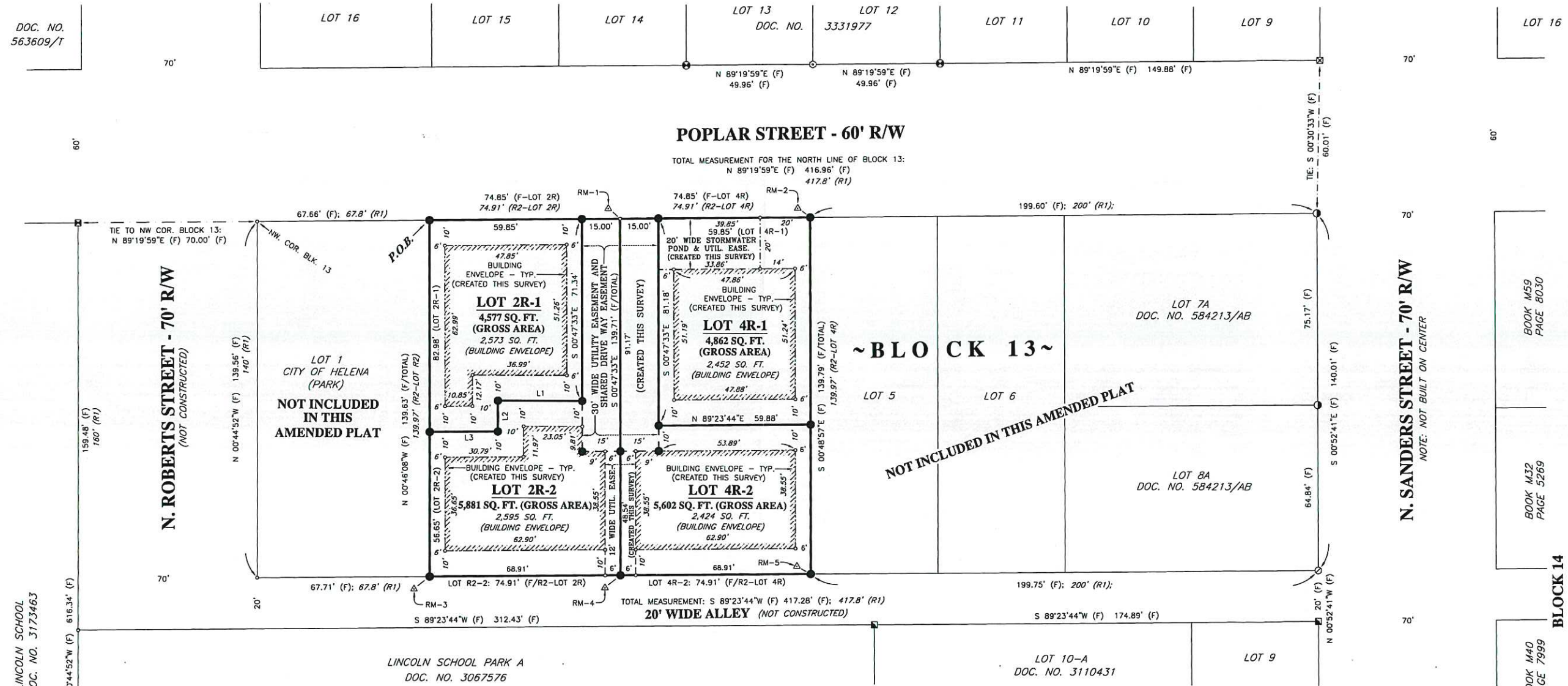
NOTARY SIGNATURE

DOCUMENT NO.: \_\_\_\_\_

# AMENDED PLAT OF LOTS 2-R & 4-R OF THE AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO HELENA, MONTANA

**PURPOSE:** FOUR (4) LOT MINOR SUBDIVISION  
**COMMISSIONED BY:** HELLGATE CAPITAL, L.L.C., A UTAH LIMITED LIABILITY COMPANY

**BLOCK 23**



DOC. NO.  
563609/T

**POPLAR STREET - 60' R/W**

TOTAL MEASUREMENT FOR THE NORTH LINE OF BLOCK 13:  
N 89°19'59"E (F) 416.96' (F)  
417.8' (R1)

~ B L O C K 1 3 ~

NOT INCLUDED IN THIS AMENDED PLAT

N. SANDERS STREET - 70' R/W  
NOTE: NOT BUILT ON CENTER

BLOCK 14

BOOK M59  
PAGE 8030

BOOK M32  
PAGE 5269

BOOK M40  
PAGE 7999

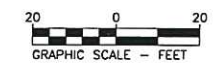
LINCOLN SCHOOL  
DOC. NO. 3173463

LINCOLN SCHOOL PARK A  
DOC. NO. 3067576

LOT 10-A  
DOC. NO. 3110431



**BASIS OF BEARINGS:**  
GPS CONTROL SURVEY,  
ROTATED TO GEODETIC NORTH.



**LINE TABLE:**

LINE	BEARING	DISTANCE
L1	N 90°00'00" W	33.02'
L2	S 00°36'16" E	12.07'
L3	S 89°25'18" W	26.82'

**LINE TABLE (TIE TO REFERENCE MONUMENT):**

LINE	BEARING	DISTANCE	FROM PROPERTY CORNER
RM-1	N 85°07'34" W	2.08' (F)	FROM PROPERTY CORNER
RM-2	N 79°23'32" W	2.12' (F)	FROM PROPERTY CORNER
RM-3	S 84°08'36" W	2.40' (F)	FROM PROPERTY CORNER
RM-4	S 88°51'31" W	2.38' (F)	FROM PROPERTY CORNER
RM-5	N 89°37'52" W	2.39' (F)	FROM PROPERTY CORNER

**LEGEND:**

- SET 5/8" REBAR W/Y.P.C. (D.J. RIES 18368LS);
- ⊙ FOUND 5/8" REBAR W/R.P.C. (C.J. RIES 12246LS);
- ⊙ FOUND 5/8" REBAR W/Y.P.C. (RIES 41255);
- ⊙ FOUND 1" IRON PIPE 1.9' BELOW SURFACE;
- ⊙ FOUND 5/8" REBAR W/Y.P.C. (DUNCAN 4123S);
- ⊙ FOUND 5/8" REBAR W/Y.P.C. (REDMOND 13755LS);
- ⊙ FOUND 3/4" REBAR IN CONCRETE;
- ⊙ FOUND 1/2" REBAR W/Y.P.C. (2105S), ACCEPTED AS REFERENCE MONUMENT (NOT DEPICTED TO SCALE);
- ⊙ FOUND DRILL IN CONCRETE;
- ⊙ FOUND 5/8" REBAR;
- CALCULATED POINT, NOTHING FOUND/SET;
- (F) FOUND/MEASURED;
- (R1) RECORD MEASUREMENT PER FLOWER GARDEN ADDITION TO THE CITY OF HELENA (PLAT NO. 777);
- (R2) RECORD MEASUREMENT PER DOC. NO. 325377;
- RM REFERENCE MONUMENT; NOTE: SEE LINE TABLE FOR TIE FROM PROPERTY CORNER;
- R.P.C. RED PLASTIC CAP;
- Y.P.C. YELLOW PLASTIC CAP;
- TYP. TYPICAL FOR SPECIFIC LINE/PATTERN;
- P.O.B. POINT-OF-BEGINNING.

**NOTE:**

- FOR INFORMATION REGARDING RECORD BEARINGS/DISTANCES SEE THE FOLLOWING DOCUMENTS:
- AMENDED PLAT OF LOTS 2, 3, & 4 OF THE FLOWER GARDEN ADDITION TO THE CITY OF HELENA (DOCUMENT NO. 325377);
  - FLOWER GARDEN ADDITION TO THE CITY OF HELENA (PLAT NO. 777);
  - DOCUMENT NO. 584213/AB;
  - DOCUMENT NO. 3067576;
  - DOCUMENT NO. 3110431;
  - DOCUMENT NO. 3173463;
  - DOCUMENT NO. 3331977.

SOUTHEAST CORNER OF  
LINCOLN SCHOOL BLOCK 1  
(DOC. NO. 3173463) -  
FOUND 1" IRON PIPE  
1.9' BELOW SURFACE

**WALNUT STREET - 60' R/W**

DATE: MARCH 03, 2023  
JOB NO.: 22281-S  
FIELD BY: DJR, NFR  
DRAFTED BY: DJR

PREPARED BY:  
**RIES & ASSOCIATES PC.**  
6850 GREEN MEADOW DR.  
HELENA, MONTANA 59602

PRELIMINARY PLAT

1/4	SEC.	T.	R.
20	10N	3W	