

STAFF REPORT

1309 Cole Avenue

*Industrial, Light
Conditional Use Permit*

Case# CUP2309-001

Kyle Holland
Planner II

Community Development Department
316 North Park Avenue, Room 445
Helena, Montana 59623





City of
Helena

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Section 1 - Project Overview

The applicant, Blue Sky Inventors, are requesting a Conditional Use Permit for the use of Industrial, Light in a B-2 zoning district. The proposed facility is located at 1309 Cole Avenue and is legally described as:

Lots 1A, 2A, 3A and 4A in Block 32 of the Retracement of Lots 1-16 in Block 32 of the Flower Garden addition to the City of Helena, Lewis and Clark County, Montana, as shown on the Certificate of Survey filed under Doc. No. 539135-T.

The proposed property is located in a B-2 Zoning district, with the adjacent zoning consisting of B-2, R-3, and CLM.

Section 2 - Staff Recommendation

Approval of a resolution granting a Conditional Use Permit to allow an Industrial, Light use in a B-2 Zoning District for property legally described as:

Lots 1A, 2A, 3A and 4A in Block 32 of the Retracement of Lots 1-16 in Block 32 of the Flower Garden addition to the City of Helena, Lewis and Clark County, Montana, as shown on the Certificate of Survey filed under Doc. No. 539135-T.

Section 3 - General Information

Application Date:	September 11, 2023
Meeting Dates:	Zoning Commission – April 9, 2024 City Commission Public Hearing – Expected Date May 6, 2024
Applicant:	Michael Merino 56 Fieldcross Lane Helena, MT 59602
Property Owner:	Brady Paulson 606 Anchor Drive Corvallis, MT 59828
Authorized Representative:	Destiny Gleich 2997 Ranger Drive East Helena, MT 59635
Legal Description:	Lots 1A, 2A, 3A and 4A in Block 32 of the Retracement of Lots 1-16 in Block 32 of the Flower Garden addition to the City of Helena, Lewis and Clark County, Montana, as shown on the Certificate of Survey filed under Doc. No. 539135-T.
General location:	The property is generally located on the southwest corner of the intersection of North Cooke Street and Cole Avenue

Present Land Use: Professional Offices (Research and Development)

Adjacent Land Uses: North: R-3 Zoning - Residence, Single-dwelling unit
Residence, Multiple-dwelling units
South: B-2 Zoning - Commercial
East: B-2 Zoning - Residence, Multiple-dwelling units
West: B-2 Zoning - Commercial
CLM Zoning - Construction Material Sales

Current zoning: B-2

Tract/Property Size: Approximately 0.69 acres

2019 Growth Policy
Land Use Designation(s): **Commercial** – Lands where the predominant use is the transaction of goods or services such as retail, office, restaurants, entertainment, etc.; such areas are usually near arterials or have good access to major streets. These properties are expected to have limited single-unit residential uses but may include high-density residential uses and residences associated with a commercial use.

Section 4 - Public Process

- A. Conditional Use Permit applications are filed with the Community Development Department and any required fees must be paid upon submission of an application. The application will then be reviewed by City staff per City Code Section 11-3-2.
- B. The Zoning Commission shall hold a public hearing and make a recommendation to the city commission per City Code Section 11-3-6.
- D. The City Commission shall pass a resolution approving the conditional use, which is effective upon the date of resolution. (Ord. 3097, 4-7-2008; amd. Ord. 3279, 1-13-2020)

This review process as defined by city code allows for public comment, staff review, and vetting through city departments and appointed and elected boards or committees prior to approval. As part of this process, the Community Development Department sends the application materials to applicable departments for their review and comment. This leads to a full evaluation of potential impacts and helps determine how the proposed conditional use relates to the review criteria.

Public Comment

An integral part of the review process is conducting public hearings and soliciting public comment. As of March 28, 2024, two comments in support have been received regarding the proposed conditional use permit. Any comments received during and after the hearing conducted by the Zoning Commission will be attached to this report and presented to the City Commission for their review and final decision.

Section 5 –Evaluation

The property at 1309 Cole currently has the land use of Professional Offices. The applicant and property owner are requesting a Conditional Use Permit (CUP) to allow for the addition of the land use Industrial, Light to perform metal fabrication, machining, and assembly of manufactured parts.

The current use of professional offices will remain for the research and development portion of the building.

Section 11-3-4 of the Helena Zoning Ordinance includes certain criteria that must be reviewed as part of the conditional use permit procedure.

A. A conditional use permit may be granted by the city commission only upon a finding, supported by substantial credible evidence in the record that the following standards are met:

- 1. The proposed conditional use, as conditioned, will not adversely impact the public health, safety, or general welfare.*
- 2. The proposed conditional use will not adversely impact or impair the peaceful use of existing property or improvements in the vicinity and the zoning district in which the subject property is located.*

B. In considering whether sections §11-3-4(A)(1) and (A)(2) of this chapter have been met, the following factors must be considered in determining the impacts of the proposed conditional use on the abutting properties and the neighborhood:

- 1. Location, character, and natural features of the subject property as it currently exists.*
- 2. Type and size of the proposed structure and improvements and their relative location on the subject property.*
- 3. Historical uses, established use patterns, and recent changes and trends in the neighborhood.*
- 4. Conformity of the proposed use with the neighborhood plan, if one has been adopted.*
- 5. Current and proposed pedestrian, vehicular, and bicycle traffic including ingress and egress, circulation and parking.*
- 6. Whether the use is consistent with the Helena Climate Change Action Plan.*
- 7. Whether the proposal meets the zoning dimensional standards requirements for the zoning district without the need for a variance.*
- 8. Hours of operation.*
- 9. Noise.*
- 10. Glare.*
- 11. Odor.*
- 12. Expressed public opinion related to factors identified above.*

C. The above factors are weighed and evaluated depending on the circumstances of each case. Any one factor may be sufficient to find adverse impacts for the purposes of Section §11-3-4(A)(1) and (A)(2) justifying denial of the permit or placement of special conditions.

EVALUATION

1. *Location, character, and natural features of the subject property as it currently exists.*

The subject property is a fully developed commercial property in a B-2 zoning district. Limited natural features remain on the parcel, and no further site development is being proposed.

The exiting commercial building dates to the late 1990's and is typical of other commercial buildings in the vicinity, specifically those to the south along Cooke Street.

2. *Type and size of the proposed structure and improvements and their relative location on the subject property.*

This is an existing structure, and no exterior alterations are proposed. Building area is approximately 8,000 square feet and is situated on a lot of 30,000 square feet. The building was constructed in 1999 for use by an Electrical Contractor and meets the current setback, lot coverage, and height restrictions for the zoning district.

3. *Historical uses, established use patterns, and recent changes and trends in the neighborhood*

Historically the property has served the uses of Professional Offices, as both an Electrical Contractor and an Engineering firm. The surrounding commercial structures to the south and southwest are of a similar age and usages. The CLM zoned property to the west dates from 1960 and presently serves the compatible use of Construction Material Sales.

The Residence, Multiple Dwelling Unit property to the east is the "Queen City Estates," providing accessible housing for adults with qualifying disabilities.

The residential units to the north date from the 1940's through the 1970's and predate the commercial uses in the neighborhood.

This proposed use aligns with the larger CLM districts to the north and west. Immediately to the north the R-3 zone is a half block between Cole Avenue and the alley, with CLM on the north side of the alley. This CLM zone contains the similar uses of Vehicle Repair (automotive mechanic) and Contractor Yard (materials storage for a sign contractor).

4. *Conformity of the proposed use with the neighborhood plan, if one has been adopted.*

This area of Helena does not have a neighborhood plan and development is instead guided by the 2019 Growth Policy, which designates this area as Commercial. The proposed Industrial, Light use will conform with the expected uses of a commercial area.

This use supports the following Goals and Objectives from the Growth Policy:

- G.01 – Promote and sustain Helena's economic vitality, supporting existing businesses and attracting a diverse range of economic sectors that provide

employment opportunities.

- 0.76 – Support land use patterns that:
 - Promote compatible, well-designed development.
 - Foster the long-term fiscal health of the community.
- 0.77 – Apply or revise zoning designations with careful consideration of factors including:
 - Future land use mapping.
 - Development of vacant and under-utilized buildings.
- 0.99 - Promote the concentration of specialized industries within the city where specialized infrastructure, information, and labor advantages may promote economic development and desirable growth.

5. *Current and proposed pedestrian, vehicular, and bicycle traffic including ingress and egress, circulation and parking.*

Ingress and egress to the site will be unchanged. Parking lot access is available from both North Cooke Street and Cole Avenue. Both approaches to the parking lot will be available for ingress and egress, in continuation with the current use. The Cole Avenue frontage has an additional curb cut for access to the building for loading and unloading. An additional loading area is accessed through the parking lot on the south end of the building.

Twelve employees are expected to utilize this facility generating approximately 50 trips per day. Occasional deliveries and pickups by shipping companies and suppliers will be made during business hours. This is well under the threshold to require a Traffic Impact Study.

6. *Whether the use is consistent with the Helena Climate Change Action Plan.*

The use of an existing building with minor upgrades allows for minimal environmental impacts compared to the construction of a new structure. This applicant will be encouraging staff to utilize provided recycling facilities for plastic and paper products. Pacific Steel will provide bi-weekly pickup of steel and aluminum scrap material for recycling.

The property is located in an area with established pedestrian infrastructure, which may reduce traffic to the site and related vehicle emissions.

7. *Whether the proposal meets the zoning dimensional standards requirements for the zoning district without the need for a variance.*

The proposal, as presented, does not alter the structure or site in any manner which would require a variance.

8. *Hours of operation.*

Hours of operation will be 8:00 AM – 5:00 PM.

9. *Noise.*

Noise is not expected to significant due to modern equipment and sound deadening materials. The applicant took a decibel reading outside the building with the machinery in use and recorded 57 decibels, which equates to approximately normal conversation levels.

10. *Glare.*

No new lights will be added to the facility and the existing lights are not oriented to shine on towards the residential areas adjacent to the property.

11. *Odor.*

The building has existing filtration systems that will be utilized to mitigate odors onto adjacent properties.

12. *Expressed public opinion related to factors identified above.*

As of Thursday, March 28, 2024, two public comments in support have been collected for this proposal.

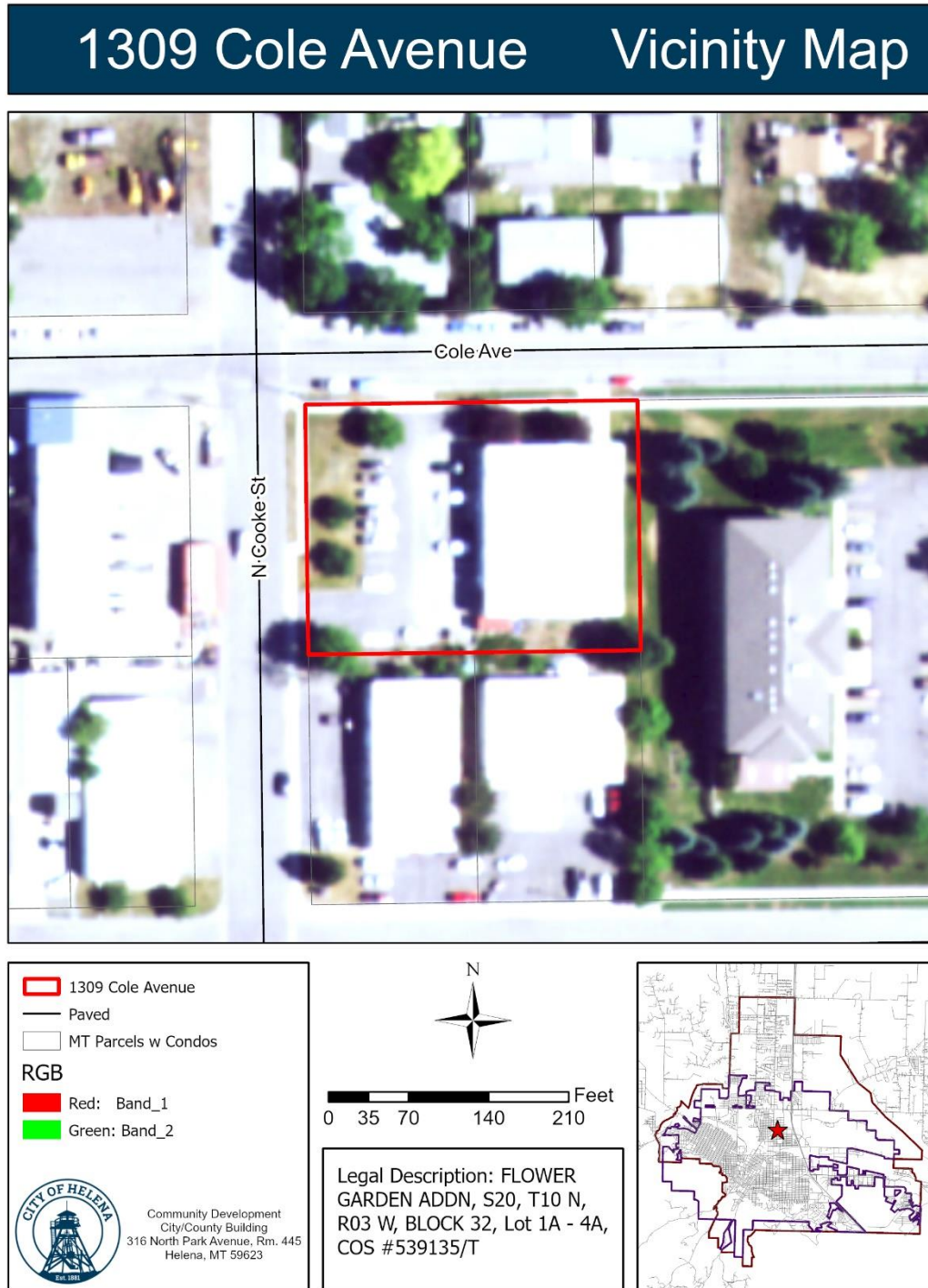
Section 6 - Staff Recommendation

The approval of this conditional use in the B-2 zoning district is consistent with the goals and objectives of the 2019 Growth Plan. Those goals are intended to guide City decision making and implement a citizen guided vision for the future of Helena.

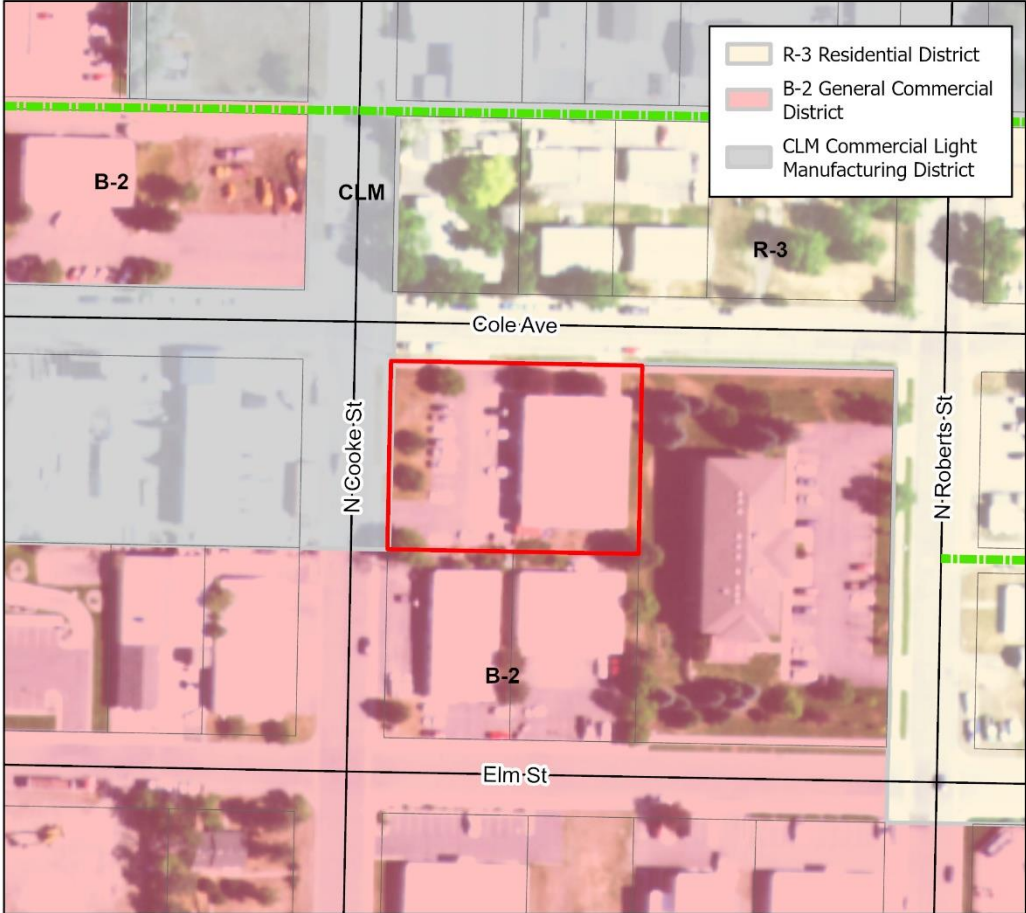
Staff Recommendation:

Approve a Resolution granting a Conditional Use Permit to allow an Industrial, Light use in a B-2 Zoning District for property legally described as: Lots 1A, 2A, 3A and 4A in Block 32 of the Retracement of Lots 1-16 in Block 32 of the Flower Garden addition to the City of Helena, Lewis and Clark County, Montana, as shown on the Certificate of Survey filed under Doc. No. 539135-T.


Appendix A –Maps



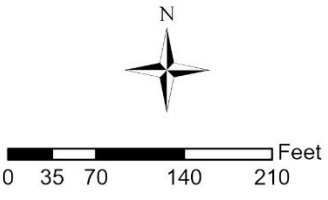
1309 Cole Avenue Zoning Map



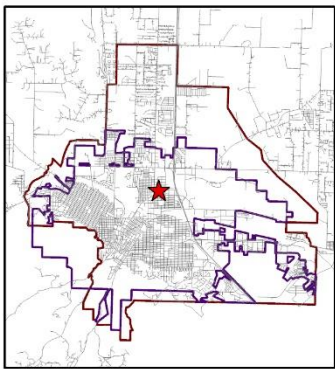
- 1309 Cole Avenue
- Paved
- Alley
- MT Parcels w Condos



Community Development
City/County Building
316 North Park Avenue, Rm. 445
Helena, MT 59623




Legal Description: FLOWER GARDEN ADDN, S20, T10 N, R03 W, BLOCK 32, Lot 1A - 4A, COS #539135/T



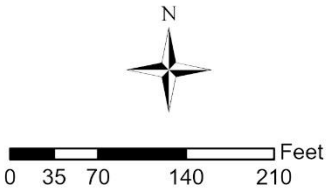
1309 Cole Avenue Utility Map



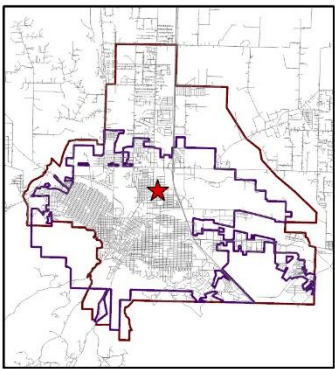
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- Paved
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Community Development
City/County Building
316 North Park Avenue, Rm. 445
Helena, MT 59623



Legal Description: FLOWER GARDEN ADDN, S20, T10 N, R03 W, BLOCK 32, Lot 1A - 4A, COS #539135/T



Appendix B – Comments



Kyle Holland, **Planner II**
Community Development Department
316 North Park Avenue, Room 445
Helena, MT 59623

: Phone: 406-447-8492
: Fax: 406-447-8460
: Email: kholland@helenamt.gov

helenamt.gov

Date: March 20, 2024

To: Zoning Commission
Subject:
Public Comment for 1309 Cole Avenue

A phone call was received from the owner of Flower Garden Properties LLC, the owner of the property at 1278 Cole Avenue requesting additional information regarding the proposed Conditional Use Permit. City Staff explained the current situation and the reason for the Conditional Use Permit. The caller had no objection to the proposed use.

Regards,

Kyle Holland, Planner II
Community Development Department
City-County Building
316 N. Park Ave, Rm 403
Helena, MT 59601



Kyle Holland, **Planner II**
Community Development Department
316 North Park Avenue, Room 445
Helena, MT 59623

: Phone: 406-447-8492
: Fax: 406-447-8460
: Email: kholland@helenamt.gov

helenamt.gov

Date: March 28, 2024

To: Zoning Commission
Subject:
Public Comment for 1309 Cole Avenue

A phone call was received from John Jinkins, the owner of the property at 1322 Cole Avenue requesting additional information regarding the proposed Conditional Use Permit. City Staff explained the current situation and the reason for the Conditional Use Permit. The caller had no objection to the proposed use.

Regards,

Kyle Holland, Planner II
Community Development Department
City-County Building
316 N. Park Ave, Rm 403
Helena, MT 59601



CONDITIONAL USE PERMIT/AMENDMENT APPLICATION

Community Development Department, Planning Division

316 North Park Avenue, Room 445, Helena, MT 59623

406-447-8490; citycommunitydevelopment@helenamt.gov

Date received:

APPLICATION FEE: \$435.00
(PAYABLE TO THE CITY OF HELENA)
ALL FEES ARE NON-REFUNDABLE

PROPERTY OWNER: *Primary Contact?*

Name: Bradley Paulson Primary Number: 360-202-9007
Address: 606 Anchor Drive Corvallis MT 59828 Other Phone: _____
Email: _____

APPLICANT (If different from property owner): *Primary Contact?*

Name: Michael Merino Primary Number: 406-457-5519
Address: 56 Fieldcross Lane Helena MT 59602 Other Phone: 406-596-0298
Email: mikemerinosemail@gmail.com Company: Blue Sky Inventors INC

AUTHORIZED REPRESENTATIVE: *Primary Contact?*

Name: Destiny Gleich Primary Number: 406-457-5519
Address: 2997 Ranger Drive East Helena MT 59635 Other Phone: 760-822-7161
Email: d.gleich@blueskyinventors.com Company: Blue Sky Inventors INC

ADDRESS OF PROPERTY: 1309 Cole Ave Helena MT 59601
Address City State Zip Code

Legal Description (Block & Lots, Subdivision, COS #) _____

Current Zoning District B-2 Zoning


Geocode _____

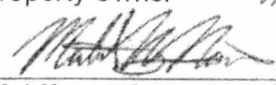
Provide a current deed & plat

Are there other related Land Use Applications being submitted: Yes No

Submit proof of current paid taxes

I HEREBY CERTIFY AND ACKNOWLEDGE THE STATEMENTS IN THIS APPLICATION AND ANY ATTACHED INFORMATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Signed: 1309 Cole, L.P.C.  Date: 09/07/2023
Property Owner Maryanne A. Paulin 09/07/23

Applicant:  Date: 08/08/2023
(If different from Owner)

Please provide all the information requested in the Application Instructions. An incomplete application may delay the review of your request.

Are you requesting any variances with this application? Yes No
If yes, see Board of Adjustment application.

Have any variances or CUPs been previously given for this property? Yes No
If yes, provide a copy of the variance decision or CUP Resolution.

Review Process and Criteria per 11-3-3 City Code: The following completeness review is required for applications for conditional use permits:

- A. Within ten (10) working days of receipt of an application and required filing fee, the City shall review the submitted information to determine whether the application contains all the information required by this chapter. The application is complete if all the information required is provided, thereby forming the basis for an informed decision on the application. The City shall give written notice to the applicant of the determination as to whether or not the application is complete.
- B. If the City determines that information is missing from the application, the City will identify those elements in the notification. If the applicant fails to submit the missing information within five (5) working days of the notice of deficiency, the City may deny approval of the application.
- C. If the applicant corrects the deficiencies and resubmits the application within the time provided above, the City has ten (10) working days to notify the applicant whether the resubmitted application contains all the information required by this chapter.
- D. After a complete application has been filed, the City shall investigate the facts bearing on the application to assure that the action on the application is consistent with the intent and purpose of this Title and then give its recommendation to the Zoning and City Commission.

A CONDITIONAL USE PERMIT IS EFFECTIVE UPON APPROVAL BY THE CITY COMMISSION AND AFTER ALL OF THE CONDITIONS FOR APPROVAL HAVE BEEN COMPLETED.

YOUR PROPOSAL MUST COMPLY WITH THE FOLLOWING:

- Building and fire codes including required building and occupancy permits.
- Zoning Ordinance requirements including but not limited to: front, side and rear yard setbacks; maximum lot coverage; building height; landscaping; parking; screening; and signage.
- Sidewalks, curbs, and gutters; if deteriorated, repair or replacement may be required.

APPLICATION INSTRUCTIONS:

Please note: "N/A" is not an acceptable answer alone and requires an explanation if used.

All conditional use permit applications must include the following information per 11-3-2 CC:

- 1. Apply to the City on the appropriate forms and pay any required fees. The application must include the property owner's signature;
- 2. Type and extent of the proposed use (including hours of operation);
- 3. Site plan showing the proposed and current location of:
 - Pedestrian, vehicular, and bicycle ingress and egress to the property;
 - Parking and loading areas;
 - Landscaping and screening;
 - Solid waste collection areas;
 - Utilities;
 - Signs; and
 - Lighting;
- 4. Proposed storm water drainage plan;
- 5. Traffic impact study for any use that will generate more than two hundred (200) vehicle trips a day;
- 6. Vicinity map of the area showing the location of the property in relation to surrounding land and zoning in the immediate area, water and wastewater mains, other utilities, and city streets;
- 7. Planned modifications to the existing structure;
- 8. Preliminary architectural drawings for new construction with elevations that include building heights;
- 9. An evaluation of the impacts on the abutting properties and the neighborhood with respect to the factors identified in section 11-3-4B City Code. The evaluation must address any potential adverse impacts and how any such adverse impacts will be mitigated.
- 10. Expected time when the permitted conditional use will commence; and
- 11. Variances requested.

12. All applications for conditional use permits will be evaluated against the following criteria from 11-3-4 City Code:

- The proposed conditional use, as conditioned, will not adversely impact public health, safety, or general welfare.
- The proposed conditional use, as conditioned, will not adversely impact the peaceful use of existing property or improvements in the vicinity and the zoning district in which the subject property is located.

The following factors must be considered in determining the impacts of the proposed conditional use on the abutting properties and the neighborhood. **Please provide an evaluation of the following using the above criteria on a separate page:**

- Location, character, and natural features of the subject property as it currently exists;
- Type and size of the proposed structure and improvements and their relative location on the subject property;
- Historical uses, established use patterns, and recent changes and trends in the neighborhood;
- Conformity of the proposed use with the neighborhood plan if one has been adopted;
- Current and proposed pedestrian, vehicular, and bicycle traffic including ingress and egress, circulation, and parking;
- Whether the use is consistent with the Helena Climate Change Action Plan;
- Whether the proposal meets the zoning dimensional standards requirements for the zoning District without the need for a variance;
- Hours of operation;
- Noise;
- Glare;
- Odor;

Expressed public opinion related to factors identified above will be used in the evaluation of the proposed CUP. It is recommended that the applicant contact neighbors to inform them of proposal and identify any concerns that the applicant may be able to address.

IT IS THE POLICY OF THE CITY COMMISSION NOT TO ACT ON A PROPOSAL IF THE APPLICANT/ APPLICANT'S REPRESENTATIVE IS NOT PRESENT AT THE COMMISSION MEETING. City Planning Staff represents the City; staff cannot answer questions for the applicant.

Per 1-4-12 City Code, the taxes and assessments on the applicant's property, which is the subject of the proposed action, must be paid or payment of said taxes and assessments must be made a condition of final approval of said action by the City Commission, with the taxes and assessments to be paid within fourteen (14) days after final passage.

Blue Sky Inventors INC

1309 Cole Ave
Helena, MT 59601
(406) 457-5519

September 1, 2023

To Whom it May Concern:

Beginning November 1, 2023, the proposed use of 1309 Cole Ave Helena MT 59601, during the hours of 8AM-5PM, shall be for Research and Development and Light Manufacturing use.

Research and development will consist of creating, designing, drawing, and maintaining quality control for numerous projects. These will help customers and employees produce innovative ideas, such as specific locks. Light Manufacturing will include the production process of different components such as springs, bolts, pins, and other various metal components that meet the needs of our customers.

After evaluation, per City Code 11-3-4, we informed numerous abutting properties and neighborhoods of the nature of our business. After informing them of all requirements outlined in city code 11-3-4, they all agreed there would be no impact on their business. Current pedestrian, vehicular and bicycle circulation and parking would not change and will not disrupt current traffic levels.

The following pages of the application include the requirements as outlines in city code 11-3-2. If you have any additional questions, please see below for my contact information as well as my Business Managers contact information.

Mike Merino
President
Phone: 406-457-5519
Cell: 406-596-0298
Email: mikemerinosemail@gmail.com

Destiny Gleich
Business Manager
Phone: 406-457-5519
Cell: 760-822-7161
Email: d.gleich@blueskyinventors.com

Thank you,

Michael Merino

Blue Sky Inventors INC

1309 Cole Ave
Helena, MT 59601
(406) 457-5519

January 18, 2024

CUP Application

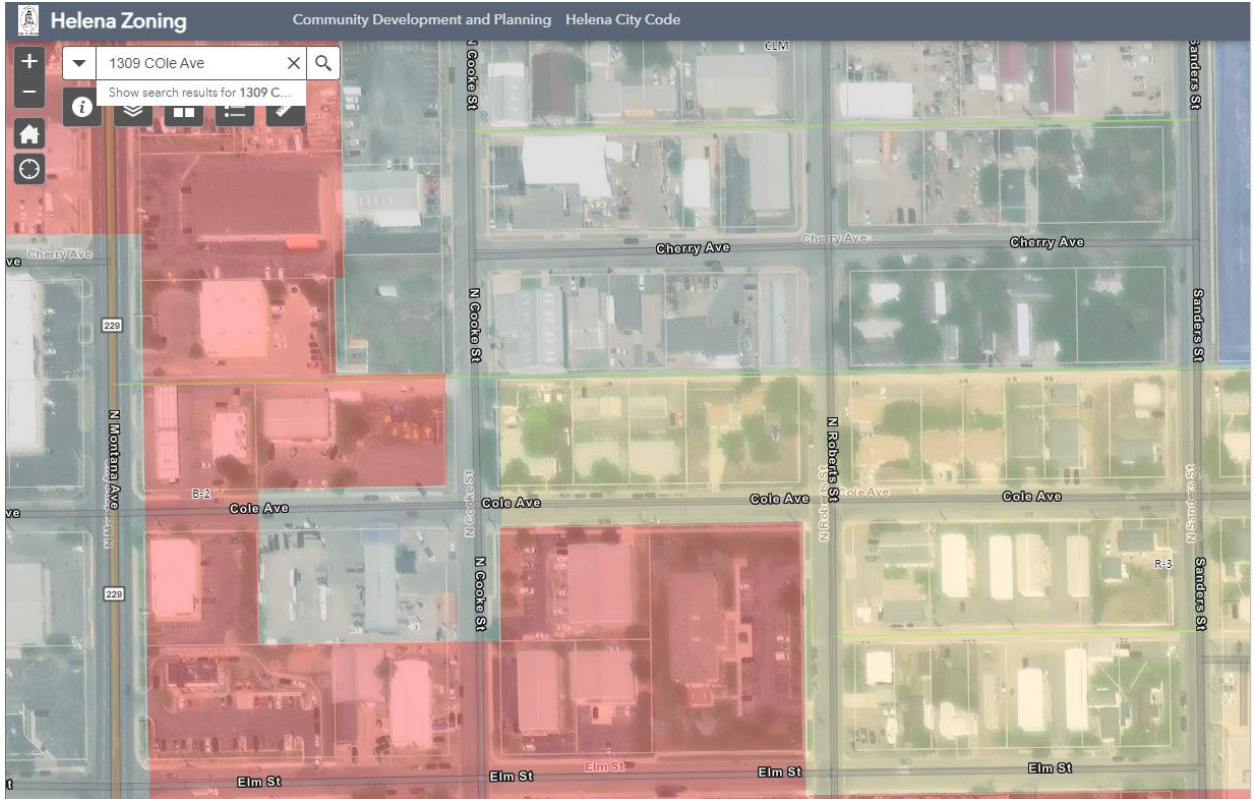
- Location
 - 1309 Cole Ave Helena MT 59601 Beginning November 1, 2023, the proposed use of 1309 Cole Ave Helena MT 59601
 - Hours of Operation 8AM- 5PM
 - Research and development will consist of creating, designing, drawing, and maintaining quality control for numerous projects. Entity is not confused with Olympus Arms (OA). Olympus Arms (OA) is a sister company to Blue Sky Inventors. Blue Sky does Inventors does assist OA with firearm research, development, manufacturing, and assembly.
 - Currently B2 zoned and located in an area where there are other businesses already zoned for commercial light manufacturing.
- Type and size of Structure.
 - The building is 8000 square feet and sits on a 30500 square foot lot.
 - No structure alterations to current facility or property
- Historical uses
 - Historical professional use of the property was to support engineering and electrical work.
 - Business to the west of the building is currently zoned for commercial light manufacturing.
 - The request for commercial light manufacturing request will conform to the current neighborhood uses.
- Traffic Impact
 - 12 employees with approx. 50 trips leaving and entering on any given day.
 - Since the building is preexisting, the ingress and egress of traffic will not change the current circulation.
- Helena Climate Change Action Plan
 - There will be minimal to no impact to the current Helena Climate Change Action Plan
 - Since we are reusing the existing structure, we will use the facilities current filtration system to ventilate.
 - Agreement with Pacific steel for bi-weekly pick up of materials (steel and aluminum)
 - Weekly pick up for recycled items (plastic, cardboard, paper etc..) and trash from Tri-county disposal
- Noise
 - Noise is not a factor as we use newer technology and have buildings with preexisting insulation for noise cancellation.
 - Current decibel reading from outside the main bay garage door is 57dB.
- Glare
 - No additional lights will be added to the facility; lights do not point in the direction of residential areas.
- Odor
 - Since we are reusing the existing structure, we will use the facilities current filtration system to ventilate.
 - Odor is not noticed from outside the building.

Thank you,

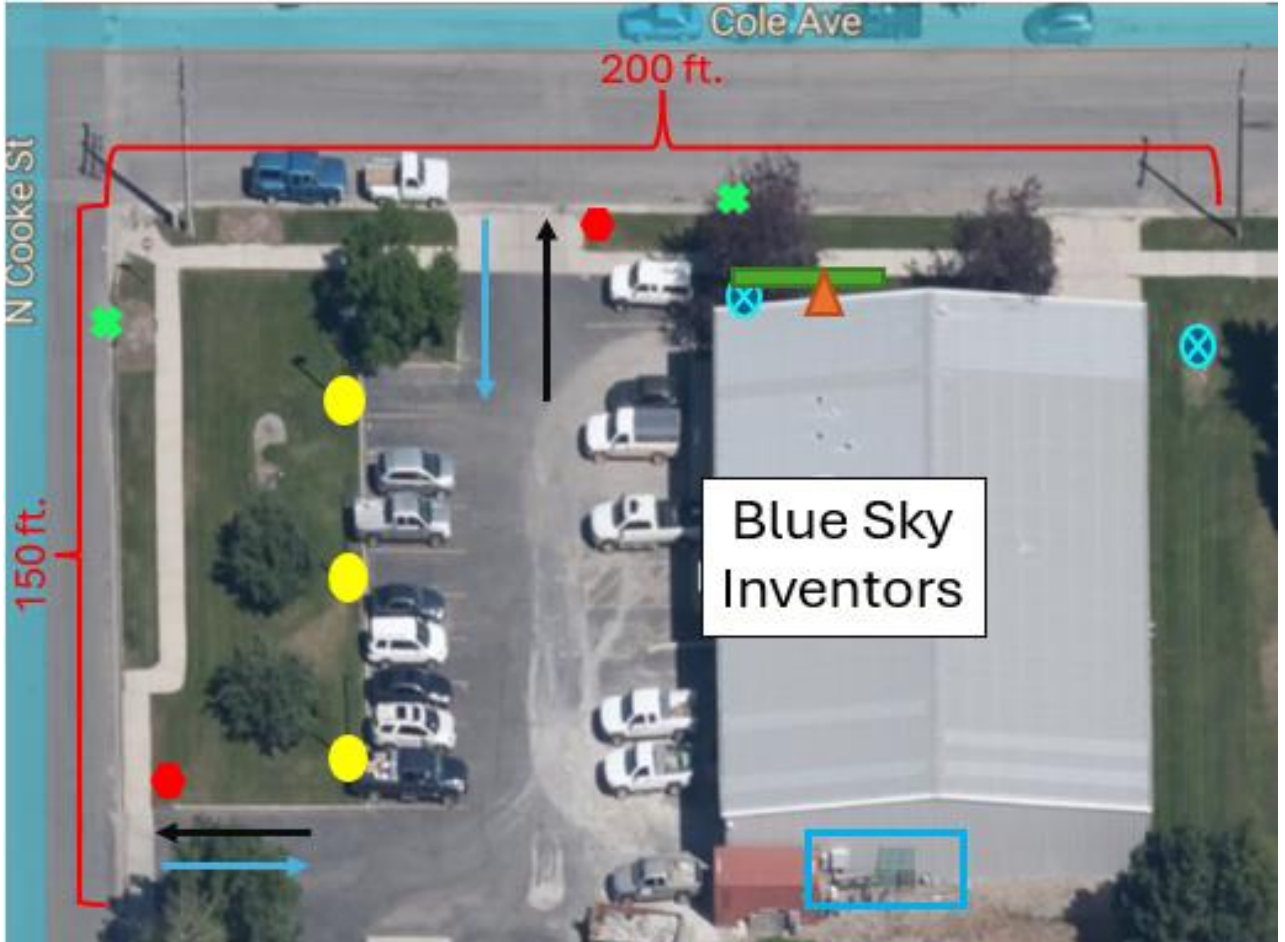
Destiny Gleich

Blue Sky Inventors INC

Vicinity Map



Site Plans



- Yellow circles- lighting
- Blue arrows- traffic in
- Black arrows- traffic out
- Red octagon- stop signs (no other signs on property)
- Orange triangle- entrance
- Green rectangle- screening
- Blue circle with X- storm water retention and drainage
- Green X- water and sewer lines
- Blue Square- utility box (utilities are enter the building on the south side of the building)

RETURN RECORDED DOCUMENT TO:

Michael M. Lawlor, Esq.
Lawlor & Co., PLLC
P.O. Box 728
Missoula, MT 59806

3411174 B: M62 P: 1450 DEED
05/15/2023 11:06 AM Pages: 1 of 2 Fees: 16.00
Amy Reeves Clerk & Recorder, Lewis & Clark MT



QUITCLAIM DEED

FOR VALUABLE CONSIDERATION, the receipt of which is acknowledged, the undersigned,

BRADLEY R. PAULSON and MARJORIE A. PAULSON, whose mailing address is 606 Anchor Drive, Corvallis, Montana 59828, as Grantor,

does hereby remise, release, and quitclaim unto

1309 COLE, LLC, a Montana limited liability company, whose mailing address is 606 Anchor Drive, Corvallis, Montana 59828, as Grantee, all of the right, title and interest of Grantor in and to real property located in Lewis and Clark County, Montana, and more particularly described as follows:


Lots 1A, 2A, 3A and 4A in Block 32 of the Retracement of Lots 1-16 in Block 32 of the Flower Garden Addition to the City of Helena, Lewis and Clark County, Montana, as shown on Certificate of Survey filed under Doc. No. 539135-T.

TOGETHER WITH all tenements, hereditaments, and appurtenances thereto belonging, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and also all of Grantor's estate, right, title, interest, property, possession, claim and demand whatsoever as well in law as in equity, of, in and to said premises and every part and parcel thereof.

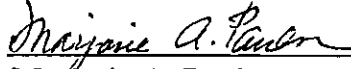
TO HAVE AND TO HOLD unto Grantee, its heirs and assigns, forever.

DATED May 11th, 2023.

Signatures on next page.



Bradley R. Paulson

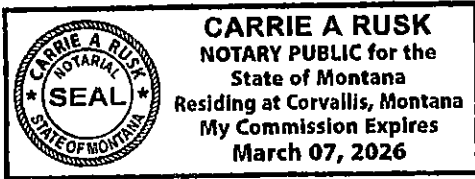



Marjorie A. Paulson

STATE OF MT)

County of Corvallis : ss.

This instrument was acknowledged before me on May 11, 2023, by **BRADLEY R. PAULSON.**

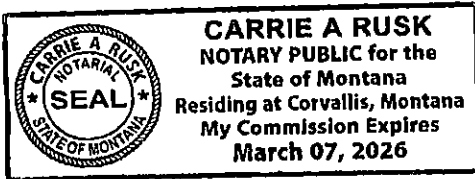



NOTARY PUBLIC FOR THE STATE OF MT

STATE OF MT)

County of Corvallis : ss.

This instrument was acknowledged before me on May 11, 2023, by **MARJORIE A. PAULSON.**




NOTARY PUBLIC FOR THE STATE OF

539135

PAULETTE DEHART CLK & REG
LEWIS & CLARK CO
HELENA, MT

95 OCT 16 PM 2:58

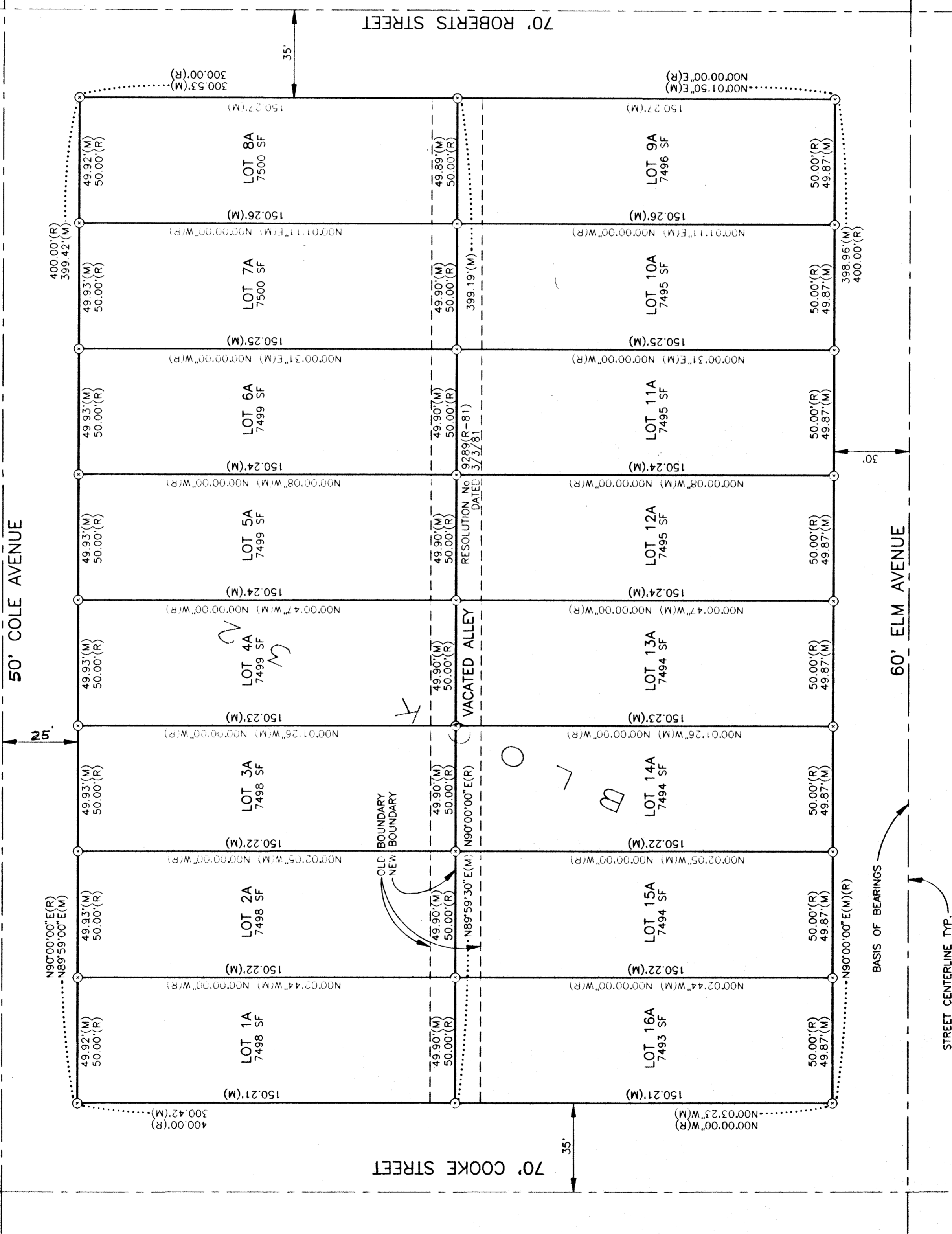
300K M PAGE

BY *Larry Marshall*

1300

CERTIFICATE OF SURVEY

RETRACEMENT OF LOTS 1-16, BLOCK 32, AND VACATED ALLEY
FLOWER GARDEN ADDITION TO HELENA
DEED REFERENCE BOOK 268, PAGE 722 AND RESOLUTION No. 9289 (R-81)

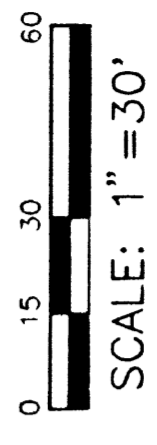
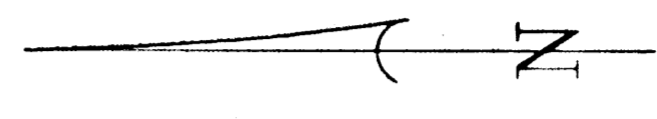


LEGEND
 ○ SET 5/8" RE-BAR W/ YELLOW PLASTIC CAP (MARSHALL 7161S)

BASIS OF BEARINGS
 THE CENTERLINE OF ELM STREET AS PER THE ORIGINAL PLAT OF THE FLOWER GARDEN ADDITION TO THE CITY OF HELENA, BEING N90°00'00"E.

PURPOSE OF SURVEY
 TO RETRACE THE BOUNDARIES OF LOTS 1-16 OF BLOCK 32 OF THE FLOWER GARDEN ADDITION TO THE CITY OF HELENA.

LEGAL DESCRIPTION
 LOTS 1A THROUGH 16A OF BLOCK 32 OF THE FLOWER GARDEN ADDITION TO THE CITY OF HELENA, LEWIS AND CLARK COUNTY, MONTANA.

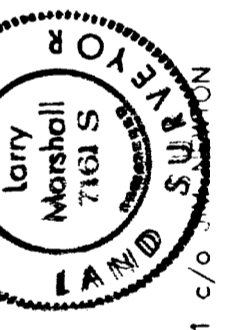


STREET CENTERLINE TYP.

BASIS OF BEARINGS

SURVEYORS CERTIFICATION

I, Larry Marshall, of Helena, Montana, a Registered Land Surveyor, do hereby certify that this plat is a true and correct representation of a survey performed under my direct supervision.



Larry Marshall
 Larry Marshall
 Montana Registration No. 7161S

SURVEYED FOR: SCHOOL DIST. No. 1 c/o

David A. Riddle
 Reviewing Land Surveyor

Mont. Reg. No. 2215 LS
 Reviewed Under Section 76-3-611, MCA
 DATE 10-6-95

MT ASSOCIATES, INC.
 LARRY MARSHALL, LS
 4528 HWY 12 WEST
 HELENA, MT 59601
 408-449-3918

DATE OF SURVEY: 9/27/95
 JOB No. 271
 DWG. No. 271

1/4	SEC.	T	R
	20	10N	3W

P.M.M.: LEWIS AND CLARK COUNTY

5422



Shopping Cart: 0 items [\$0.00]

New Search

History

Payoff

PayTaxes

Help

Property Tax ID: 33125

Status: Current
Realware#: 188820327400000
Receipt: 4671

2023 Owner(s):
1309 COLE AVE LLC

Mailing Address:
606 ANCHOR DR
CORVALLIS, MT 598288801

Levy District:
01-01, Tax District 01

Tax Comparison

2023 Value:

Market: \$885,600
Taxable: \$16,738

Detail

2023 Taxes:

View Pie Charts

First Half:	\$7,236.36	Due: 11/30/2023
Second Half:	\$7,236.32	Due: 5/31/2024
Total:	\$14,472.68	

Detail

2023 Payments:

First Half:	\$7,236.36
Second Half:	\$7,236.32
Total:	\$14,472.68

(May include penalty & interest)

2023 Legal Records:

Geo Code: 05-1888-20-3-27-40-0000 **Deed Book:** M62 **Page:** 1450 **Instru#:** 3411174 **Date:** 2023-05-15

Property address: 1309 COLE AVE, HELENA MT 59601
Subdivision: (FLG) SubDiv FLG **Lot:** 1A **Block:** 32
TRS: T10 N, R03 W, Sec. 20
Legal: FLOWER GARDEN ADDN, S20, T10 N, R03 W,
BLOCK 32, Lot 1A - 4A, COS #539135/T
Acres: 0.69

Note: The accuracy of this data is not guaranteed. Property Tax data was last updated 01/17/2024 02:00 PM.

Send Payments to:
Lewis & Clark County
316 North Park Ave; Room #113
Helena, Montana 59623

Phone: (406) 447-8329
Email: propertytax@lccountymt.gov



*Planning
Bldg.*

RECEIVED

MAR 16 1999

City Planning Dept.

RESOLUTION NO. 11340

A RESOLUTION GRANTING A CONDITIONAL USE PERMIT TO ALLOW EXPANSION OF AN ELECTRICAL CONTRACTING BUSINESS IN A B-2 DISTRICT IN THE CITY OF HELENA, MONTANA

WHEREAS, the Helena City Commission has before it a request to grant a conditional use permit to allow expansion of an electrical contracting business in a B-2 (General Commercial) District on property described as Lots 1A-4A in Block 32 of the Flower Garden Addition, generally located at the southeast corner of the intersection of Cole Avenue and Cooke Street in Helena, Lewis and Clark County, Montana; and

WHEREAS, the Helena City Commission finds as follows:

1. That the proposed conditional use conforms generally with the objectives of the Comprehensive Plan.

2. That the proposed use will not adversely affect nearby properties or their occupants by:

(a) Measurably and substantially reducing the value or marketability of such properties;

(b) Substantially increasing traffic, noise, glare, or odor on or adjacent to such properties;

(c) Substantially reducing or impairing the full enjoyment of such properties for the uses or purposes to which the same are presently put;

(d) Causing or increasing the likelihood of danger or peril from crime, fire, or other hazard to the public health, safety or welfare; or

(e) Causing any other quantifiable or demonstrable impact of substantial magnitude.

3. That the proposed use will meet all of the overall density, coverage, yard, and/or other applicable regulations of the district in which it is to be located.

4. That the proposal will not have any additional requirements as identified by Section 11-21-3(B) (relating to ingress and egress, parking areas, dumpster location, utilities, landscaping and screening, and signs and lighting).

5. That public hearings have been held by the Zoning

Commission and the City Commission after required legal notices have been given, and the public has been given an opportunity to be heard on the matter.

WHEREAS, the Zoning Commission of the City of Helena, Montana, after holding a regularly scheduled public hearing on said conditional use permit application, on February 16, 1999, recommended that the Helena City Commission **approve** the above-described conditional use permit, subject to several conditions; and

WHEREAS, a public hearing was held on this matter at the regular City Commission meeting March 1, 1999.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF HELENA, MONTANA:

Section 1. A conditional use permit is hereby granted allowing the expansion of an electrical contracting business to be located in a B-2 (General Commercial) District on property described as Lots 1A-4A in Block 32 of the Flower Garden Addition, generally located at the southeast corner of the intersection of Cole Avenue and Cooke Street in Helena, Lewis and Clark County, Montana.

Section 2. This conditional use permit is subject to the following conditions:

A. Permits and Licenses:

1. All new construction must comply with the Uniform Building Code, Uniform Fire Code and all applicable portions of the Helena City Code.

2. A building permit and a sign permit must be obtained from the Department of Building and Safety prior to construction and the installation of signs.

B. Parking: Up to twenty-one (21) paved, off-street parking spaces, including accessible parking for persons with disabilities, shall be provided. Landscaping in the parking area and bicycle parking shall be installed in accordance with Chapter 22 of Title 11 of the Helena City Code.

C. Sidewalks: Boulevard sidewalks will be constructed to City standards.

D. **Storm Water Drainage:** A storm water drainage plan, as specified in Section 6-6-9 of the Helena City Code, shall be submitted to the City Engineer for review and approval prior to development of the property.

E. **Landscaping:** A detailed landscaping plan, as specified in Chapter 24 of Title 11 of the Helena City Code, shall be submitted to the Director of Building and Safety and the Parks and Recreation Director for review and approval prior to development of the property.

F. **Lighting:** Lighting must conform with Section 11-2-8-J of the Helena City Code.

G. **Financial Guarantee:** The following improvements shall be financially guaranteed in accordance with Section 11-21-3-G of the Helena City Code:

1. Storm water drainage improvements;
2. Sidewalks;
3. Paved parking lot, bicycle parking and related landscaping; and
4. Overall site plan landscaping.

H. **Time Frame:** The Applicant must obtain a building permit for the new construction within one (1) year of approval of this Conditional Use Permit.

PASSED AND EFFECTIVE BY THE COMMISSION OF THE CITY OF HELENA, MONTANA, THIS 1ST DAY OF MARCH, 1999.



 MAYOR

ATTEST:



 CLERK OF THE COMMISSION

DRAWINGS FOR

BLUE SKY INNOVATION

1309 COLE AVE. ELECTRICAL UPGRADES

HELENA, MONTANA

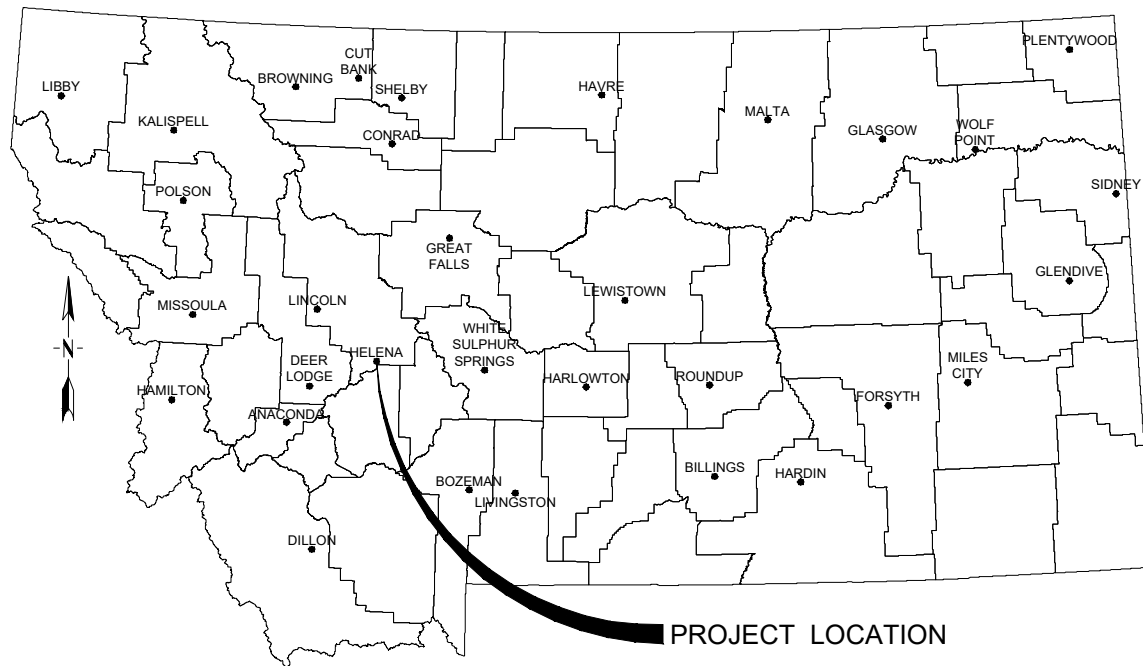
AUGUST, 2023

PREPARED BY:

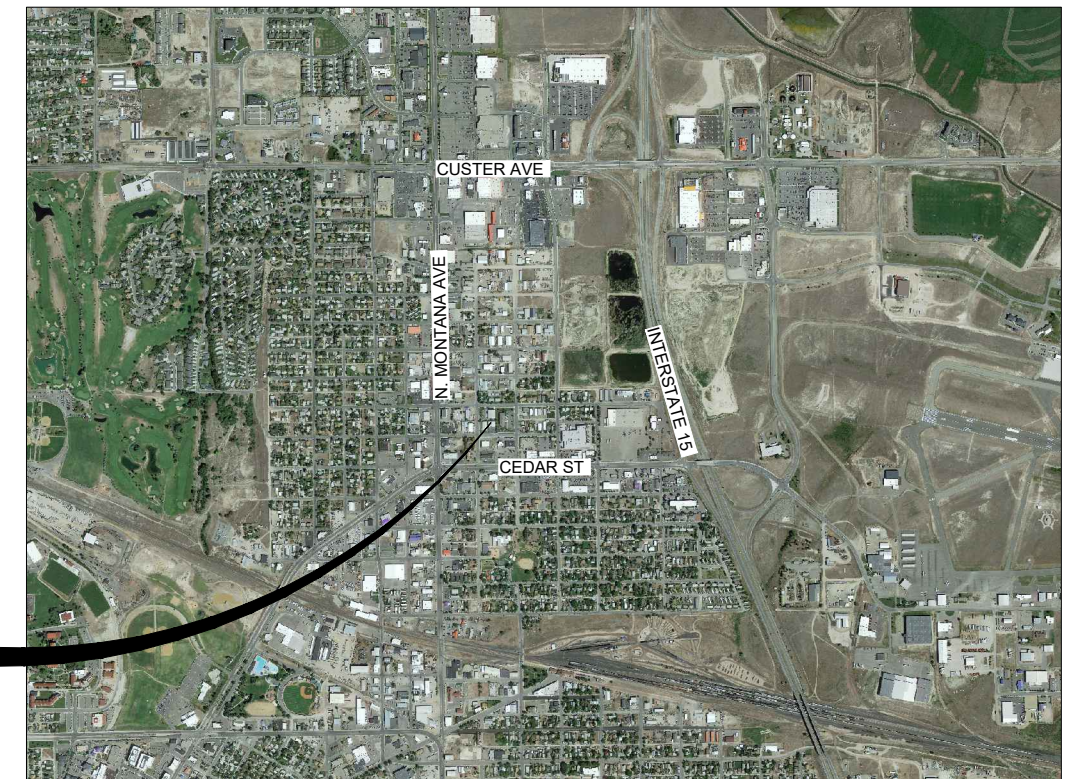


engineers • surveyors • planners • scientists

1 Engineering Place, Helena, MT 59602
406.442.3050 • www.m-m.net



LOCATION MAP
NOT TO SCALE




VICINITY MAP
NOT TO SCALE

PRELIMINARY
AUGUST, 2023

APPROVED BY: _____
PROJECT MANAGER NAME
Project Manager

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 <small>engineers • surveyors • planners • scientists</small>	
QUALITY ASSURANCE	
XXX PROJECT MANAGER	XX XX XX Q.A. APPROVAL DATE
XXX OFFICE QUALITY ASSURANCE COORDINATOR	(XXXXX) XX-XX Q.A. PROJECT NUMBER
XXX PEER REVIEWER	

LOW - VOLTAGE CIRCUIT BREAKER (CB).
 RATINGS AND NO. OF POLES AS SHOWN.
 WHEN SPECIFIC TYPE IS REQUIRED, X INDICATES TYPE.

TYPES:
 MCCB - MOLDED CASE
 ICCB - INSULATED CASE
 LVP - LOW - VOLTAGE POWER
 MCP - MOTOR CIRCUIT PROTECTOR
 (RATING PER CONNECTED LOAD)

SEPARATELY MOUNTED CIRCUIT BREAKER; SEE ELECTRICAL ONE - LINE DIAGRAM OR SCHEDULE FOR DESCRIPTION

GROUND FAULT PROTECTION

MEDIUM - VOLTAGE CIRCUIT BREAKER

FUSE, SIZE, AND NUMBER OF FUSES AS NOTED

FUSED CUTOFF, CURRENT RATING, FUSE SIZE, AND NUMBER OF POLES AS NOTED

FUSIBLE SWITCH, CURRENT RATING, FUSE SIZE, AND QUANTITY AS NOTED

NON-FUSED SWITCH, CURRENT RATING, AND NUMBER OF POLES AS NOTED

DISCONNECT OR DRAWOUT CONNECTION

MAGNETIC MOTOR STARTER AND SEPARATELY MOUNTED COMBINATION MAGNETIC MOTOR STARTER

MOTOR CONTROLLER AND SEPARATELY MOUNTED MOTOR CONTROLLER WITH SHORT CIRCUIT PROTECTION AND DISCONNECT

MOTOR STARTER AND CONTROLLER SUBSCRIPTS:
 A - MAGNETIC STARTER NEMA SIZE
 B - STARTER TYPE
 NONE - FULL VOLTAGE NON-REVERSING (FVNR)
 FVR - FULL VOLTAGE REVERSING
 2S - TWO SPEED
 RVAT - REDUCED VOLTAGE AUTO TRANSFORMER

C - CONTROL DIAGRAM OR CONTROLS SCHEDULE NUMBER (IF REQUIRED)

D - CONTROLLER TYPE
 VFD - VARIABLE FREQUENCY DRIVE
 SS - SOLID STATE

SEPARATELY MOUNTED COMBINATION MOTOR STARTER OR CONTROLLER; SEE ELECTRICAL ONE - LINE DIAGRAM OR SCHEDULE FOR DESCRIPTION

THERMAL OVERLOAD ELEMENT

THERMAL OVERLOAD RELAY CONTACT

DISCONNECT OR SAFETY SWITCH, 30A, 3P, NON-FUSED UNLESS OTHERWISE NOTED

MOTOR WITH DESIGN HORSEPOWER (WHEN INDICATED)

GENERATOR

TRANSFER SWITCH, CURRENT RATING, AND NUMBER OF POLES AS NOTED

ATS - AUTOMATIC
 MTS - MANUAL

TRANSFORMER

3-PHASE, 3-WIRE DELTA CONNECTION

3-PHASE, 4-WIRE GROUNDWED WYE CONNECTION

SWITCHBOARD OR PANELBOARD; NAME, VOLTAGE, PHASE, NUMBER OF WIRES WHEN INDICATED

NON-MOTOR LOAD WITH DESIGN KVA, KW, OR AMP

CPT CONTROL POWER TRANSFORMER (CPT)

VOLTAGE TRANSFORMER (VT OR PT)

CURRENT TRANSFORMER (CT)

UTILITY WATT-HOUR METER PER UTILITY REQUIREMENTS

ELAPSED TIME METER

GROUND

LIGHTNING ARRESTER

SURGE PROTECTIVE DEVICE

ELECTRICAL CONNECTION

NO ELECTRICAL CONNECTION

SOLENOID VALVE

CONTROL/RELAY COIL; X INDICATES TYPE, Y INDICATES LOOP NO. WHEN USED

TYPES:
 CR - CONTROL RELAY
 DP - DEFINITE PURPOSE RELAY
 LC - LIGHTING CONTACTOR
 M - MOTOR STARTER
 PC - PHOTO CELL
 TC - TIME CLOCK
 TR - TIMING RELAY

NORMALLY OPEN CONTACT (N.O.)

NORMALLY CLOSED CONTACT (N.C.)

NORMALLY OPEN TIME DELAY RELAY CONTACT WITH TIME DELAY ON CLOSING AFTER COIL IS ENERGIZED

NORMALLY CLOSED TIME DELAY RELAY CONTACT WITH TIME DELAY ON OPENING AFTER COIL IS ENERGIZED

NORMALLY OPEN TIME DELAY RELAY CONTACT WITH TIME DELAY ON OPENING AFTER COIL IS DE-ENERGIZED

NORMALLY CLOSED TIME DELAY RELAY CONTACT WITH TIME DELAY ON CLOSING AFTER COIL IS DE-ENERGIZED

NORMALLY OPEN TEMPERATURE SWITCH; CLOSE ON RISING TEMPERATURE

NORMALLY CLOSED TEMPERATURE SWITCH; OPEN ON RISING TEMPERATURE

NORMALLY OPEN FLOW SWITCH; CLOSE ON INCREASING FLOW

NORMALLY CLOSED FLOW SWITCH; OPEN ON INCREASING FLOW

NORMALLY OPEN LEVEL SWITCH, CLOSE ON RISING LEVEL

NORMALLY CLOSED LEVEL SWITCH, OPEN ON RISING LEVEL

NORMALLY OPEN PRESSURE SWITCH, CLOSE ON INCREASING PRESSURE

NORMALLY CLOSED PRESSURE SWITCH, OPEN ON INCREASING PRESSURE

NORMALLY CLOSED PRESSURE SWITCH, OPEN ON INCREASING PRESSURE

NORMALLY OPEN LIMIT SWITCH, CLOSE ON REACHING LIMIT

NORMALLY CLOSED LIMIT SWITCH, OPEN ON REACHING LIMIT

FIELD WIRING EXTERNAL TO CONTROL PANEL

INTERLOCK; X INDICATES TYPE

TYPES:
 E - ELECTRICAL
 M - MECHANICAL
 K - KEY

3 POSITION SELECTOR SWITCH, MAINTAINED CONTACTS; UNLESS OTHERWISE NOTED, 2-POSITION SIMILAR

NORMALLY OPEN PUSHBUTTON, MOMENTARY CONTACT UNLESS OTHERWISE NOTED

NORMALLY CLOSED PUSHBUTTON, MOMENTARY CONTACT UNLESS OTHERWISE NOTED

INDICATING LIGHT, X INDICATES LENS COLOR

PUSH TO TEST INDICATING LIGHT, X INDICATES LENS COLOR

LENS COLORS:
 R - RED Y - YELLOW
 G - GREEN W - WHITE
 B - BLUE A - AMBER

TRANSFORMER

SELECTOR SWITCH

PUSHBUTTON

INSTRUMENTATION/CONTROL DEVICE

CONTROL PANEL INTEGRAL OR PROVIDED WITH ASSOCIATED EQUIPMENT

CONTROL PANEL WITH DISCONNECT SWITCH INTEGRAL OR PROVIDED WITH ASSOCIATED EQUIPMENT

JUNCTION OR PULL BOX

PANELBOARD OR LOAD CENTER

ELECTRICAL EQUIPMENT ENCLOSURE: SWITCHBOARD, MOTOR CONTROL CENTER, CONTROL PANEL, OR OTHER EQUIPMENT AS INDICATED

OCCUPANCY SENSOR, DUAL TECHNOLOGY, PROVIDE POWER PACK AS NEEDED

PHOTOCCELL

CEILING/PENDANT-MOUNTED LUMINAIRE - LED

WALL-MOUNTED LUMINAIRE - LED

CEILING/PENDANT-MOUNTED LED FIXTURE

WALL-MOUNTED LED FIXTURE

CEILING/PENDANT-MOUNTED LED FIXTURE NORMAL/EMERGENCY

WALL-MOUNTED LED FIXTURE NORMAL/EMERGENCY

EMERGENCY LIGHT FIXTURE, 2 ATTACHED HEADS AS SHOWN

EMERGENCY LIGHT, REMOTE MOUNTED HEAD

DOUBLE-FACED CEILING OR WALL-MOUNTED EXIT LIGHT; DIRECTIONAL ARROWS (IF REQUIRED) AS INDICATED ON PLANS

SINGLE-FACED CEILING OR WALL-MOUNTED EXIT LIGHT; DIRECTIONAL ARROWS (IF REQUIRED) AS INDICATED ON PLANS

SINGLE-FACED CEILING OR WALL-MOUNTED COMBINATION EMERGENCY/EXIT LIGHT; DIRECTIONAL ARROWS (IF REQUIRED) AS INDICATED ON PLANS

AREA OR ROADWAY LIGHT - POLE-MOUNTED

LIGHTING FIXTURE SUBSCRIPTS:
 X - INDICATES FIXTURE TYPE PER LIGHTING FIXTURE SCHEDULE
 Y - INDICATES CIRCUIT NUMBER FROM PANELBOARD
 z - INDICATES CONTROLLING SWITCH (IF REQUIRED)

MANUAL MOTOR STARTER

TOGGLE SWITCH

SUBSCRIPTS:
 X - INDICATES TYPE
 NONE - SINGLE POLE
 3 - THREE-WAY
 4 - FOUR-WAY
 HP - TOGGLE SWITCH, HORSEPOWER RATED
 K - KEY SWITCH
 TE - MANUAL MOTOR STARTER WITH THERMAL ELEMENT
 P - PILOT LIGHT
 L - LIGHTED HANDLE
 Y - SWITCH NAME/DESIGNATION

SPECIAL-PURPOSE RECEPTACLE AS DEFINED ON PLANS

PLUG-IN RECEPTACLE STRIP, QUANTITY AND SPACING OF RECEPTACLES AS NOTED OR SPECIFIED

DATA/TELECOMMUNICATIONS OUTLET JUNCTION BOX

QUAD-DUPLEX RECEPTACLE, TWO NEMA 5-20R UNDER COMMON COVER PLATE

DUPLEX RECEPTACLE, NEMA 5-20R

SIMPLEX RECEPTACLE, NEMA 5-20R

FLOOR BOX W/ (2) DUPLEX RECEPTACLES, FURNISH W/ (1) 3/4" MIN. CONDUIT FOR POWER TO BOX. ROUGH IN DATA CONDUIT. FURNISH 1-1/2" DEDICATED CONDUIT W/ ADAPTER FROM EACH DATA COMPARTMENT, COMPLETE WITH PULLSTRING OVER TO AND UP WALL INTO ACCESSIBLE CEILING SPACE UNO.

SUBSCRIPTS:
 X - INDICATES TYPE
 GFCI - GROUND FAULT CIRCUIT INTERRUPTER
 Y - INDICATES CIRCUIT NUMBER FROM PANELBOARD

FLATSCREEN TV BOX: 3-GANG, FLUSH IN WALL, PASS & SEYMOUR TV3MWTSSW. DUPLEX RECEPTACLE & (2) SINGLE-GANG DATA/LOW VOLTAGE OPENINGS. PROVIDE BLANK COVERS FOR LOW VOLTAGE OPENINGS W/ (1) 3/4" MIN. CONDUIT FOR POWER AND (1) 1-1/2" DEDICATED CONDUIT W/ ADAPTER FROM CENTER COMPARTMENT AND (1) 1" CONDUIT TO SIDE OPENING. CONDUITS START AT THE TOP OF GANG OPENING AND UP WALL INTO ACCESSIBLE CEILING SPACE UNO. MOUNT BOX AT +72" AFF, UNO.

PUSHBUTTON (MOUNT AT +48", UNO)

"X" INDICATES TYPE:
 EPO - EMERGENCY POWER OFF
 ADA - HANDICAPPED ACCESSIBLE DOOR (DEVICE BY OTHERS)
 ODO - OVERHEAD DOOR OPERATOR (DEVICE BY OTHERS)

CONDUIT TURNING UP

CONDUIT TURNING DOWN

HOME RUN TO PANEL, 2 #12, 1 #12G IN 3/4" UNLESS OTHERWISE NOTED

HOME RUN WITH CONDUIT SEAL-OFF

CIRCUIT RUN BETWEEN DEVICES EXPOSED IN NON-ARCHITECTURALLY FINISHED AREAS; CONCEALED IN ARCHITECTURALLY FINISHED AREAS. CONDUIT AND CONDUCTOR SIZES SHALL BE THE SAME AS THE HOMERUN FOR THE CIRCUIT.

CONDUIT RUN BETWEEN DEVICES CONCEALED IN NON-ARCHITECTURALLY FINISHED AREAS OR UNDER FLOOR SLAB. CONDUIT AND CONDUCTOR SIZES SHALL BE THE SAME AS THE HOMERUN FOR THE CIRCUIT.

CIRCUIT HASH MARKS (WHEN INDICATED); LONG, SHORT, SINGLE DOT, AND DOUBLE DOT REPRESENT PHASE, NEUTRAL, EQUIPMENT GROUND, AND ISOLATED EQUIPMENT GROUND, RESPECTIVELY. #12 IN 3/4" CONDUIT UNLESS OTHERWISE INDICATED.

CIRCUIT CONTINUATION

CONDUIT STUBBED OUT AND CAPPED

CONDUIT TAG OR CIRCUIT NUMBER - WIRE AND CONDUIT SIZE AS SPECIFIED IN CIRCUIT SCHEDULE ON THE SHEETS

GROUND CABLE

GROUND ROD

HEAT DETECTOR

SUBSCRIPT:
 R/C - RATE COMPENSATION
 R/F - COMBINATION RATE OF RISE AND FIXED TEMP
 R - RATE OF RISE
 F - FIXED

SMOKE AND DUCT DETECTOR

SUBSCRIPT:
 I - IONIZATION TYPE
 P - PHOTOELECTRIC TYPE

FIRE ALARM CONTROL RELAY

FIRE ALARM CONTACT, FLOW SWITCH

FIRE ALARM CONTACT, TAMPER SWITCH

FIRE ALARM CONTACT, PRESSURE SWITCH

FIRE ALARM ANNUNCIATOR

FIRE ALARM CONTROL PANEL

FIRE ALARM MANUAL PULL STATION

ABBREVIATIONS:
 A or AMP AMPERES
 AC ALTERNATING CURRENT
 AFF ABOVE FINISHED FLOOR
 AFG ABOVE FINISHED GRADE
 ATS AUTOMATIC TRANSFER SWITCH
 C CONDUIT
 CB CIRCUIT BREAKER
 CKT CIRCUIT
 CU COPPER
 EF EXHAUST FAN
 ELEC ELECTRIC
 EMT ELECTRICAL METALLIC TUBING
 EXP EXPLOSION PROOF
 GFI GROUND FAULT INTERRUPTER
 GND GROUND
 HOA HAND-OFF-AUTOMATIC
 HP HORSEPOWER
 HVAC HEATING, VENTILATING & AIR CONDITIONING
 HZ HERTZ
 J-BOX JUNCTION BOX
 kW KILOWATTS
 kVA KILOVOLT AMPERES
 LFMC LIQUIDTIGHT FLEXIBLE METAL CONDUIT
 LV LOW VOLTAGE
 MAN MANUAL
 MAX MAXIMUM
 MCC MOTOR CONTROL CENTER
 MECH MECHANICAL
 MIN MINIMUM
 MFR MANUFACTURER
 N NEUTRAL
 NC NORMALLY CLOSED
 NEC NATIONAL ELECTRICAL CODE
 NIC NOT IN CONTRACT
 NO NORMALLY OPEN
 # NUMBER
 PB PUSHBUTTON
 PH PHASE
 PNL PANEL
 PVC POLYVINYL CHLORIDE CONDUIT
 PWR POWER
 RECPT RECEPTACLE
 RGS RIGID GALVANIZED STEEL
 SV SOLENOID VALVE
 SW SWITCH
 SWBD SWITCHBOARD
 SWGR SWITCHGEAR
 T THERMOSTAT
 TD TIME DELAY
 TEL TELEPHONE
 TSP TWISTED SHIELDED PAIR
 TV TELEVISION
 TYP TYPICAL
 UG UNDERGROUND
 UH UNIT HEATER
 UL UNDERWRITER'S LABORATORY
 UNO UNLESS NOTED OTHERWISE
 V VOLT
 VA VOLT AMPERES
 VFD VARIABLE FREQUENCY DRIVE
 W WATTS
 WP WEATHERPROOF
 XFMR TRANSFORMER
 Y WYE CONNECTED
 Δ DELTA CONNECTED
 ∅ PHASE

ALARM FLASHING LIGHT

ALARM BELL AND FLASHING LIGHT COMBINATION UNIT

ALARM HORN AND FLASHING LIGHT COMBINATION UNIT

ALARM BELL

ALARM HORN

SUBSCRIPT:
 NONE - GENERAL ALARM DEVICE
 F - FIRE ALARM DEVICE

GENERAL NOTES:
 1. THIS IS A STANDARD ELECTRICAL SYMBOL SHEET. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT.
 2. SCREENING OR SHADING OF WORK IS USED TO INDICATE EXISTING COMPONENTS OR TO DE-EMPHASIZE PROPOSED IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK. REFER TO CONTEXT OF EACH SHEET FOR USAGE.
 3. REFERENCES OTHER LEGEND SHEETS FOR PROJECT-SPECIFIC EQUIPMENT SYMBOLS, EQUIPMENT ABBREVIATIONS, AND PIPING SYSTEM ABBREVIATIONS.

PRELIMINARY
 AUGUST, 2023

VERIFY SCALE!		REVISIONS	
NO.	DESCRIPTION	BY	DATE

THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.

MODIFY SCALE ACCORDINGLY!

PLOTTED BY: JERRY A. CHAMBERS ON Aug/03/2023

Morrison Maierle
 engineers • surveyors • planners • scientists

1 Engineering Place
 Helena, MT 59602
 406.442.3050
 www.m-m.net

10443.001 - 1309 COLE AVE ELECTRICAL UPGRADES/AS SHEETS-E-1.DWG

DRAWN BY: JAC
 DSGN BY: MWB
 APPR BY: MWB
 DATE: 08/2023
 Q.C. REVIEW BY:
 DATE:

HELENA
BLUE SKY INNOVATION
1309 COLE AVE. ELECTRICAL UPGRADES
MONTANA

ELECTRICAL LEGEND

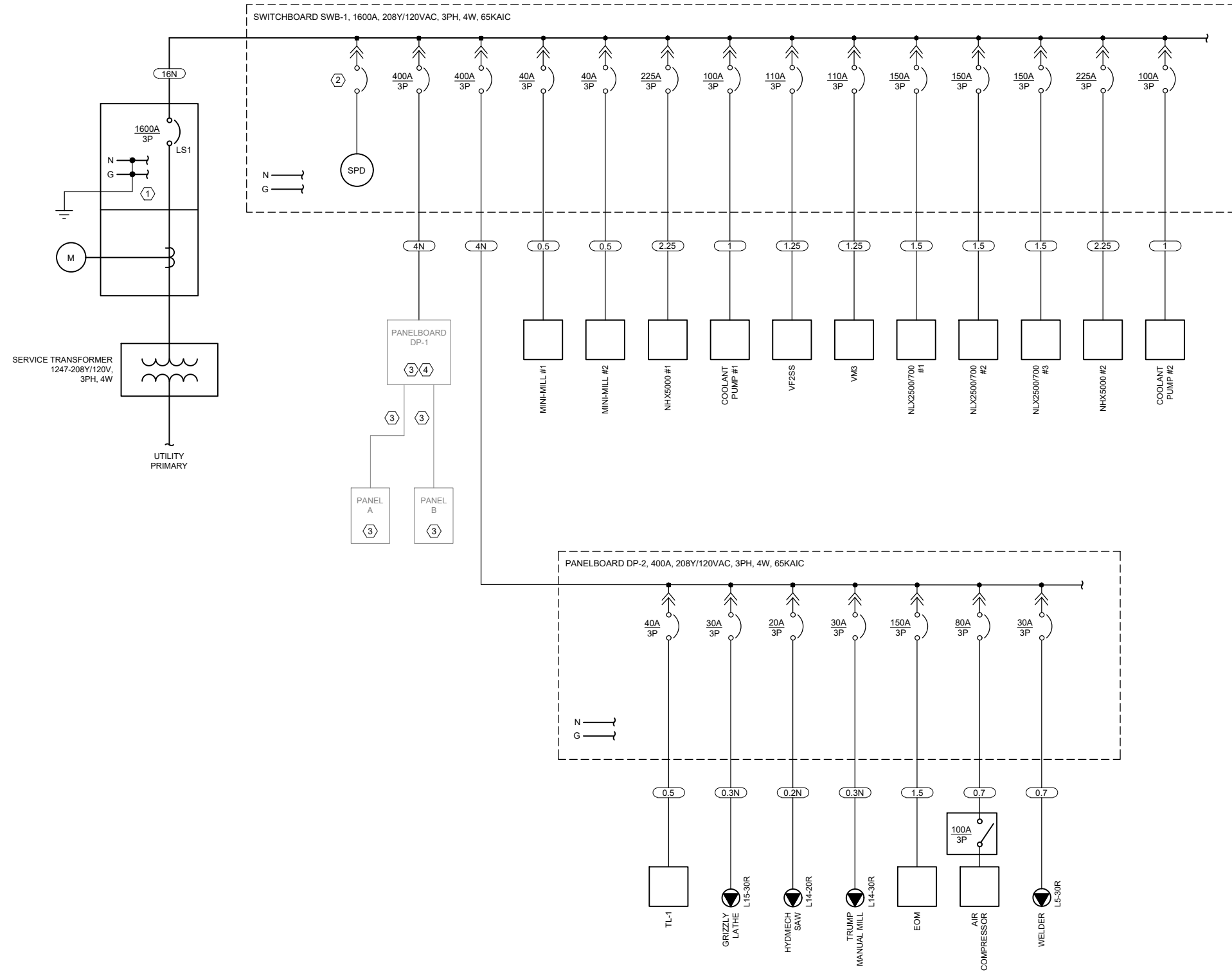
PROJECT NUMBER	10443.001
SHEET NUMBER	1
DRAWING NUMBER	E-1

GENERAL NOTES

1. FEEDER SCHEDULE SHOWN ON DWG E-4.

KEY NOTES

- ① CONNECT NEUTRAL TO GROUND AT THIS POINT ONLY. BOND WATER AND GAS PIPING AND BUILDING STEEL.
- ② CIRCUIT BREAKER SIZED BY MANUFACTURER.
- ③ EXISTING PANELBOARDS AND FEEDERS TO REMAIN.
- ④ REPLACE EXISTING CIRCUIT BREAKERS WITH 65KAIC RATED BREAKERS.



ONE-LINE DIAGRAM
NOT TO SCALE

PRELIMINARY
AUGUST, 2023

R:\1043\1001-1309 COLE AVE ELECTRICAL UPGRADES\CAD\SHETS\E-2.DWG

VERIFY SCALE!		REVISIONS	
NO.	DESCRIPTION	BY	DATE

THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.

MODIFY SCALE ACCORDINGLY!

PLOTTED BY: MICHAEL W. BRANDT ON Aug/03/2023

Morrison Maierle
engineers • surveyors • planners • scientists

1 Engineering Place
Helena, MT 59602
406.442.3050
www.m-m.net

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DRAWN BY: JAC	HELENA	BLUE SKY INNOVATION 1309 COLE AVE. ELECTRICAL UPGRADES	MONTANA	PROJECT NUMBER 10443.001
DSGN BY: MWB				SHEET NUMBER 2
APPR BY: MWB	ONE LINE DIAGRAM		DRAWING NUMBER E-2	
DATE: 08/2023				
Q.C. REVIEW BY: _____				
DATE: _____				

SWB-1		PANEL SCHEDULE										PROJECT: 10443 - 1309 Cole Ave Electrical Upgrades			
120/208V, 3Ph, 4W.		1600A Bus		M.L.O.					SURFACE MOUNTED					3-Aug-23	
Ckt. No.	Description / Location	Load (VA)	Load Type	C.B. Amp	C.B. Pole	Phase	C.B. Amp	C.B. Pole	Load (VA)	Load Type	Description / Location	Ckt. No.			
1	Mini Mill 2 - #1	3,000	M	40	3	A	110	3	8,400	M	VF2SS	2			
3	---	3,000	M	-	-	B	-	-	8,400	M	---	4			
5	---	3,000	M	-	-	C	-	-	8,400	M	---	6			
7	Mini Mill 2 - #2	3,000	M	40	3	A	110	3	8,400	M	VM3	8			
9	---	3,000	M	-	-	B	-	-	8,400	M	---	10			
11	---	3,000	M	-	-	C	-	-	8,400	M	---	12			
13	NH500 - #1	17,400	M	225	3	A	150	3	12,000	M	NLQ2500/700 - #1	14			
15	---	17,400	M	-	-	B	-	-	12,000	M	---	16			
17	---	17,400	M	-	-	C	-	-	12,000	M	---	18			
19	Coolant Pump - #1	7,320	M	100	3	A	150	3	12,000	M	NLQ2500/700 - #2	20			
21	---	7,320	M	-	-	B	-	-	12,000	M	---	22			
23	---	7,320	M	-	-	C	-	-	12,000	M	---	24			
25	DP-2 Panelboard	32,268	S	400	3	A	150	3	12,000	M	NLQ2500/700 - #3	26			
27	---	32,268	S	-	-	B	-	-	12,000	M	---	28			
29	---	28,958	S	-	-	C	-	-	12,000	M	---	30			
31	DP-1 Panelboard	20,075	S	400	3	A	225	3	17,400	M	NH500 - #2	32			
33	---	19,521	S	-	-	B	-	-	17,400	M	---	34			
35	---	19,887	S	-	-	C	-	-	17,400	M	---	36			
37	SPD	20	C	15	3	A	100	3	7,320	M	Coolant Pump - #2	38			
39	---	20	C	-	-	B	-	-	7,320	M	---	40			
41	---	20	C	-	-	C	-	-	7,320	M	---	42			
43	---					A						44			
45	---					B						46			
47	---					C						48			
49	---					A						50			
51	---					B						52			
53	---					C						54			

Total Connected Load: Ph A 160,603 VA 1,338 A
Total Connected Load: Ph B 160,049 VA 1,334 A
Total Connected Load: Ph C 156,815 VA 1,307 A
"Maximum" Phase Connected Load: Ph A 160,603 VA
Total Connected Load (3 X Maximum): 481.8 KVA 1,338.4 AMPS Total Demand Load: 482.8 KVA 1,285.7 AMPS

SOURCE = Main Circuit Breaker

NOTES:
1. 65kAIC Rated Circuit Breakers
2. Bolt-On Circuit Breakers
3. Integral SPD

SWB-1

DP-2		PANEL SCHEDULE										PROJECT: 10443 - 1309 Cole Ave Electrical Upgrades			
120/208V, 3Ph, 4W.		400A Bus		M.L.O.					SURFACE MOUNTED					3-Aug-23	
Ckt. No.	Description / Location	Load (VA)	Load Type	C.B. Amp	C.B. Pole	Phase	C.B. Amp	C.B. Pole	Load (VA)	Load Type	Description / Location	Ckt. No.			
1	TL-1	3,000	M	40	3	A	40	3	3,000	M	Trump Manual Mill	2			
3	---	3,000	M	-	-	B	-	-	3,000	M	---	4			
5	---	3,000	M	-	-	C	-	-	3,000	M	---	6			
7	Grizzly Lathe	3,000	M	40	3	A	150	3	12,000	LM	EDM	8			
9	---	3,000	M	-	-	B	-	-	12,000	LM	---	10			
11	---	3,000	M	-	-	C	-	-	12,000	LM	---	12			
13	Saw Hydmech	1,440	M	20	3	A	80	3	6,228	M	Air Compressor	14			
15	---	1,440	M	-	-	B	-	-	6,228	M	---	16			
17	---	1,440	M	-	-	C	-	-	6,228	M	---	18			
19	Welder	3,600	G	45	2	A	-	-	6,228	M	---	20			
21	---	3,600	G	-	-	B	-	-				22			
23	---					C						24			
25	---					A						26			
27	---					B						28			
29	---					C						30			
31	---					A						32			
33	---					B						34			
35	---					C						36			
37	---					A						38			
39	---					B						40			
41	---					C						42			

Total Connected Load: Ph A 32,268 VA 269 A
Total Connected Load: Ph B 32,268 VA 269 A
Total Connected Load: Ph C 28,668 VA 239 A
"Maximum" Phase Connected Load: Ph A 32,268 VA
Total Connected Load (3 X Maximum): 96.8 KVA 288.9 AMPS Total Demand Load: 102.2 KVA 283.9 AMPS

SOURCE = SWB1

NOTES:
1. 65kAIC Rated Circuit Breakers
2. Bolt-On Circuit Breakers

DP-2

DP-1		PANEL SCHEDULE										PROJECT: 10443 - 1309 Cole Ave Electrical Upgrades			
120/208V, 3Ph, 4W.		400A Bus		M.L.O.					SURFACE MOUNTED					3-Aug-23	
Ckt. No.	Description / Location	Load (VA)	Load Type	C.B. Amp	C.B. Pole	Phase	C.B. Amp	C.B. Pole	Load (VA)	Load Type	Description / Location	Ckt. No.			
1	Space					A	15	3	15	C	SPD	2			
3	---					B	-	-	15	C	---	4			
5	---					C	-	-	15	C	---	6			
7	Space					A	50	3			Spare	8			
9	---					B	-	-			---	10			
11	---					C	-	-			---	12			
13	Panel B	12,640	S	100	3	A	200	3	7,420	S	Panel A	14			
15	---	12,288	S	-	-	B	-	-	7,220	S	---	16			
17	---	12,132	S	-	-	C	-	-	7,740	S	---	18			

Total Connected Load: Ph A 20,075 VA 167 A
Total Connected Load: Ph B 19,521 VA 163 A
Total Connected Load: Ph C 19,887 VA 166 A
"Maximum" Phase Connected Load: Ph A 20,075 VA
Total Connected Load (3 X Maximum): 60.2 KVA 167.3 AMPS Total Demand Load: 35.8 KVA 99.6 AMPS

SOURCE = SWB1

NOTES:
1. Provide 65kAIC Rated Breakers
2. Existing Panelboard

DP-1

Panel A		PANEL SCHEDULE										PROJECT: 10443 - 1309 Cole Ave Electrical Upgrades			
120/208V, 3Ph, 4W.		225A Bus		M.L.O.					SURFACE MOUNTED					3-Aug-23	
Ckt. No.	Description / Location	Load (VA)	Load Type	C.B. Amp	C.B. Pole	Phase	C.B. Amp	C.B. Pole	Load (VA)	Load Type	Description / Location	Ckt. No.			
1	Garage Door Opener and Fan	1,920	M	20	1	A	20	3			Spare	2			
3	Lighting - Shop	600	L	20	2	B	-	-			---	4			
5	---	600	L	-	-	C	-	-			---	6			
7	Unit Heater	750	H	20	2	A	20	1	540	R	Receptacles - Bench 1	8			
9	---	750	H	-	-	B	20	1	540	R	Receptacles - Bench 2	10			
11	Receptacle - Front Desk	180	R	20	1	C	20	1	180	R	Receptacle - Drill Press	12			
13	Receptacles - Office	540	R	20	1	A	20	1	360	R	Receptacles - Bench 1 Wall	14			
15	Lighting - Offices	400	L	20	1	B	20	1	360	R	Receptacles - Bench 2 Wall	16			
17	Receptacles - Office	540	R	20	1	C	20	1	300	L	Lighting - Upstairs	18			
19	Receptacle - Bathroom GFI	180	R	20	1	A	20	1	240	C	Sewage Control Panel	20			
21	Receptacle - Bathroom GFI	180	R	20	1	B	20	2	960	M	Sewage Pump	22			
23	Lighting - Bathrooms	200	L	20	1	C	-	-	960	M	---	24			
25	Receptacle - Dedicated	180	R	20	1	A	20	1	400	L	Lighting - Office	26			
27	Receptacle - Dedicated	180	R	20	1	B	20	1	540	R	Receptacles - Office	28			
29	Lighting - Lobby	300	L	20	1	C	20	1	540	R	Receptacles - Office	30			
31	Lighting - Conference Room	500	L	20	1	A	30	2	1,200	G	Air Conditioning Condensing Unit	32			
33	Receptacles - Conference Room	540	R	20	1	B	-	-	1,200	G	---	34			
35	Receptacles - Conference Room	540	R	20	1	C	30	1	2,400	R	Receptacle - UPS	36			
37	Lighting - Parking Lot	250	L	20	2	A	20	1	360	R	Receptacles - Amplifier	38			
39	---	250	L	-	-	B	20	1	720	R	Receptacles - Exterior	40			
41	Lighting - Exterior	300	L	20	1	C	20	1	700	H	Furnace	42			

Total Connected Load: Ph A 7,420 VA 62 A
Total Connected Load: Ph B 7,220 VA 60 A
Total Connected Load: Ph C 7,740 VA 65 A
"Maximum" Phase Connected Load: Ph C 7,740 VA
Total Connected Load (3 X Maximum): 23.2 KVA 64.5 AMPS Total Demand Load: 23.5 KVA 65.2 AMPS

SOURCE = DP-1

NOTES:
1. Existing Panelboard

PANEL A

PRELIMINARY
AUGUST, 2023

R:\10443\001 - 1309 COLE AVE ELECTRICAL UPGRADES\CAD\SHEETS\E-3.DWG

NO.	DESCRIPTION	BY	DATE

VERIFY SCALE!
THESE PRINTS MAY BE REDUCED.
LINE BELOW MEASURES ONE INCH
ON ORIGINAL DRAWING.
MODIFY SCALE ACCORDINGLY!

PLOTTED BY: JERRY A. CHAMBERS on Aug/03/2023

Morrison Maierle
engineers • surveyors • planners • scientists

1 Engineering Place
Helena, MT 59602
406.442.3050
www.m-m.net

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DRAWN BY: JAC	HELENA	BLUE SKY INNOVATION 1309 COLE AVE. ELECTRICAL UPGRADES MONTANA	PROJECT NUMBER 10443.001
DSGN BY: MWB			SHEET NUMBER 3
APPR BY: MWB			DRAWING NUMBER E-3
DATE: 08/2023			
Q.C. REVIEW BY: _____		PANEL SCHEDULES	
DATE: _____			

FEEDER SCHEDULE - COPPER

SCHEDULE IS BASED ON 75 DEGREE C. COPPER CONDUCTORS IN NEC 310.60 TABLE.

FEEDER NUMBER KEY:
A = ALUMINUM CONDUCTORS
N = INCLUDES NEUTRAL CONDUCTOR
S = SINGLE PHASE

NOTE: GROUNDING CONDUCTOR IS SIZED ACCORDING TO NEC 250.122 TABLE, UNLESS FEEDER NUMBER IS FOLLOWED BY AN ASTERISK (*) INDICATING THAT THE GROUNDING CONDUCTOR IS SIZED ACCORDING TO NEC 250.66 TABLE.

FEEDER NUMBER	AMPS	WIRE QTY PER CONDUIT	SETS IN PARALLEL	75 DEG COPPER			
				CONDUIT	PHASE QTY AND AWG	NEUTRAL AWG	GROUND AWG
0.2	20	3W	1	3/4"	3#12	-	1#12
0.2N	20	4W	1	3/4"	3#12	1#12	1#12
0.3	30	3W	1	3/4"	3#10	-	1#10
0.3N	30	4W	1	3/4"	3#10	1#10	1#10
0.5	50	3W	1	1"	3#8	-	1#10
0.5N	50	4W	1	1"	3#8	1#8	1#10
0.6	60	3W	1	1"	3#6	-	1#10
0.6N	60	4W	1	1-1/4"	3#6	1#6	1#10
0.7	70	3W	1	1-1/4"	3#4	-	1#8
0.7N	70	4W	1	1-1/4"	3#4	1#4	1#8
0.9	90	3W	1	1-1/4"	3#3	-	1#8
0.9N	90	4W	1	1-1/4"	3#3	1#3	1#8
1	100	3W	1	1-1/2"	3#2	-	1#8
1N	100	4W	1	1-1/2"	3#2	1#2	1#8
1.25	125	3W	1	1-1/2"	3#1	-	1#6
1.25N	125	4W	1	2"	3#1	1#1	1#6
1.5	150	3W	1	1-1/2"	3#1/0	-	1#6
1.5N	150	4W	1	2"	3#1/0	1#1/0	1#6
1.75	175	3W	1	2"	3#2/0	-	1#4
1.75N	175	4W	1	2"	3#2/0	1#2/0	1#4
2	200	3W	1	2"	3#3/0	-	1#4
2N	200	4W	1	2-1/2"	3#3/0	1#3/0	1#4
2.25	225	3W	1	2"	3#4/0	-	1#4
2.25N	225	4W	1	2-1/2"	3#4/0	1#4/0	1#4
2.5	250	3W	1	2-1/2"	3#250	-	1#4
2.5N	250	4W	1	3"	3#250	1#250	1#4
3	300	3W	1	3"	3#350	-	1#4
3N	300	4W	1	3"	3#350	1#350	1#4
4	400	3W	2	2-1/2"	3#3/0	-	1#3
4N	400	4W	2	2-1/2"	3#3/0	1#3/0	1#3
5	500	3W	2	2-1/2"	3#250	-	1#2
5N	500	4W	2	3"	3#250	1#250	1#2
6	600	3W	2	3"	3#350	-	1#1
6N	600	4W	2	3"	3#350	1#350	1#1
8	800	3W	3	2-1/2"	3#300	-	1#1/0
8N	800	4W	3	2-1/2"	3#300	1#300	1#1/0
10	1000	3W	3	3"	3#400	-	1#2/0
10N	1000	4W	3	3-1/2"	3#400	1#400	1#2/0
12	1200	3W	4	3"	3#350	-	1#3/0
12N	1200	4W	4	3"	3#350	1#350	1#3/0
16	1600	3W	5	3"	3#400	-	1#4/0
16N	1600	4W	5	3-1/2"	3#400	1#400	1#4/0
20	2000	3W	6	3"	3#400	-	1#250
20N	2000	4W	6	3-1/2"	3#400	1#400	1#250
25	2500	3W	8	3"	3#400	-	1#350
25N	2500	4W	8	3-1/2"	3#400	1#400	1#350
30	3000	3W	9	3"	3#400	-	1#400
30N	3000	4W	9	3-1/2"	3#400	1#400	1#400
40	4000	3W	12	3"	3#400	-	1#500
40N	4000	4W	12	3-1/2"	3#400	1#400	1#500

FEEDER SCHEDULE - ALUMINUM

SCHEDULE IS BASED ON 75 DEGREE C. ALUMINUM CONDUCTORS IN NEC 310.60 TABLE.

FEEDER NUMBER KEY:
A = ALUMINUM CONDUCTORS
N = INCLUDES NEUTRAL CONDUCTOR
S = SINGLE PHASE

NOTE: GROUNDING CONDUCTOR IS SIZED ACCORDING TO NEC 250.122 TABLE, UNLESS FEEDER NUMBER IS FOLLOWED BY AN ASTERISK (*) INDICATING THAT THE GROUNDING CONDUCTOR IS SIZED ACCORDING TO NEC 250.66 TABLE.

FEEDER NUMBER	AMPS	WIRE QTY PER CONDUIT	SETS IN PARALLEL	75 DEG ALUMINUM			
				CONDUIT	PHASE QTY AND AWG	NEUTRAL AWG	GROUND AWG
0.2	20	3W	1	3/4"	3#12	-	1#10
0.2N	20	4W	1	3/4"	3#12	1#12	1#10
0.3	30	3W	1	3/4"	3#10	-	1#8
0.3N	30	4W	1	3/4"	3#10	1#10	1#8
0.5	50	3W	1	1"	3#6	-	1#8
0.5N	50	4W	1	1"	3#6	1#6	1#8
0.6	60	3W	1	1"	3#4	-	1#8
0.6N	60	4W	1	1"	3#4	1#4	1#8
0.7	70	3W	1	1-1/4"	3#3	-	1#6
0.7N	70	4W	1	1-1/4"	3#3	1#3	1#6
0.9	90	3W	1	1-1/4"	3#2	-	1#6
0.9N	90	4W	1	1-1/2"	3#2	1#2	1#6
1	100	3W	1	1-1/2"	3#1	-	1#6
1N	100	4W	1	2"	3#1	1#1	1#6
1.25	125	3W	1	2"	3#2/0	-	1#4
1.25N	125	4W	1	2"	3#2/0	1#2/0	1#4
1.5	150	3W	1	2"	3#3/0	-	1#4
1.5N	150	4W	1	2-1/2"	3#3/0	1#3/0	1#4
1.75	175	3W	1	2"	3#4/0	-	1#4
1.75N	175	4W	1	2-1/2"	3#4/0	1#4/0	1#4
2	200	3W	1	2-1/2"	3#250	-	1#4
2N	200	4W	1	3"	3#250	1#250	1#4
2.25	225	3W	1	2-1/2"	3#300	-	1#2
2.25N	225	4W	1	3"	3#300	1#300	1#2
2.5	250	3W	1	3"	3#350	-	1#2
2.5N	250	4W	1	3"	3#350	1#350	1#2
3	300	3W	2	2"	3#3/0	-	1#2
3N	300	4W	2	2-1/2"	3#3/0	1#3/0	1#2
4	400	3W	2	2-1/2"	3#250	-	1#1
4N	400	4W	2	3"	3#250	1#250	1#1
5	500	3W	2	3"	3#350	-	1#1/0
5N	500	4W	2	3"	3#350	1#350	1#1/0
6	600	3W	3	2-1/2"	3#250	-	1#2/0
6N	600	4W	3	3"	3#250	1#250	1#2/0
8	800	3W	4	2-1/2"	3#250	-	1#3/0
8N	800	4W	4	3"	3#250	1#250	1#3/0
10	1000	3W	4	3"	3#350	-	1#4/0
10N	1000	4W	4	3"	3#350	1#350	1#4/0
12	1200	3W	5	3"	3#350	-	1#250
12N	1200	4W	5	3"	3#350	1#350	1#250
16	1600	3W	6	3"	3#400	-	1#350
16N	1600	4W	6	3-1/2"	3#400	1#400	1#350
20	2000	3W	7	3-1/2"	3#500	-	1#400
20N	2000	4W	7	3-1/2"	3#500	1#500	1#400
25	2500	3W	8	3-1/2"	3#500	-	1#600
25N	2500	4W	8	4"	3#500	1#500	1#600
30	3000	3W	9	3-1/2"	3#600	-	1#600
30N	3000	4W	9	4"	3#600	1#600	1#600
40	4000	3W	12	4"	3#600	-	1#750
40N	4000	4W	12	5"	3#600	1#600	1#750

PANEL B PANEL SCHEDULE

PROJECT: 10443 - 1309 Cole Ave Electrical Upgrades 3-Aug-23

120/208V, 3Ph, 4W. 225A Bus M.L.O. SURFACE MOUNTED

Ckt. No.	Description / Location	Load (VA)	Load Type	C.B. Amp	C.B. Pole	Phase	C.B. Amp	C.B. Pole	Load (VA)	Load Type	Description / Location	Ckt. No.
1	Receptacles - South Wall	900	R	20	1	A	20	1	300	L	Emergency Lighting	2
3	Receptacles - South Wall	900	R	20	1	B	20	1	1,176	M	Front Shop Heater	4
5	Garage Door Opener	1,176	M	20	1	C	20	1	1,176	M	Back Shop Heater	6
7	Spare			30	1	A	20	1	1,920	M	Fans	8
9	Spare			20	1	B	20	1	1,080	R	Receptacles - North & East Walls	10
11	Spare			20	1	C	20	1	900	R	Receptacles - South Wall	12
13	Lights	600	L	20	2	A	20	1				14
15		600	L			B	20	1	60	L	Exit Lights	16
17	Lights	600	L	20	2	C	30	2				18
19		600	L			A						20
21	Spare			20	3	B	20	1	180	R	Receptacle - Below Panel	22
23						C	20	1	180	R	Receptacle - Sink GFI	24
25						A	20	1	720	R	Receptacles - Bench	26
27	Spare			20	3	B	20	1	720	R	Receptacles - Bench	28
29						C	30	2				30
31						A						32
33	Spare			20	2	B	20	1	360	R	Receptacles - Island	34
35						C	20	1	360	R	Receptacles - Island	36
37	Spare			30	3	A	20	1	180	R	Receptacle - South Wall GFI	38
39						B	20	1			Spare	40
41						C					Space	42

Total Connected Load: Ph A 12,840 VA 105 A

Total Connected Load: Ph B 12,288 VA 102 A

Total Connected Load: Ph C 12,132 VA 101 A

Maximum Phase Connected Load: Ph A 12,840 VA

Total Connected Load (3 X Maximum): 37.9 KVA 105.3 AMPs Total Demand Load: 15.4 KVA 42.7 AMPs

SOURCE = DP-1

NOTES:
1. Existing Panelboard

PANELB

PRELIMINARY
AUGUST, 2023

NO.		DESCRIPTION	BY	DATE

1 Engineering Place
Helena, MT 59602

406.442.3050

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DRAWN BY: JAC
DSGN. BY: MWB
APPR. BY: MWB
DATE: 08/2023
Q.C. REVIEW BY: _____
DATE: _____

HELENA

BLUE SKY INNOVATION

1309 COLE AVE. ELECTRICAL UPGRADES

MONTANA

FEEDER AND PANEL SCHEDULES

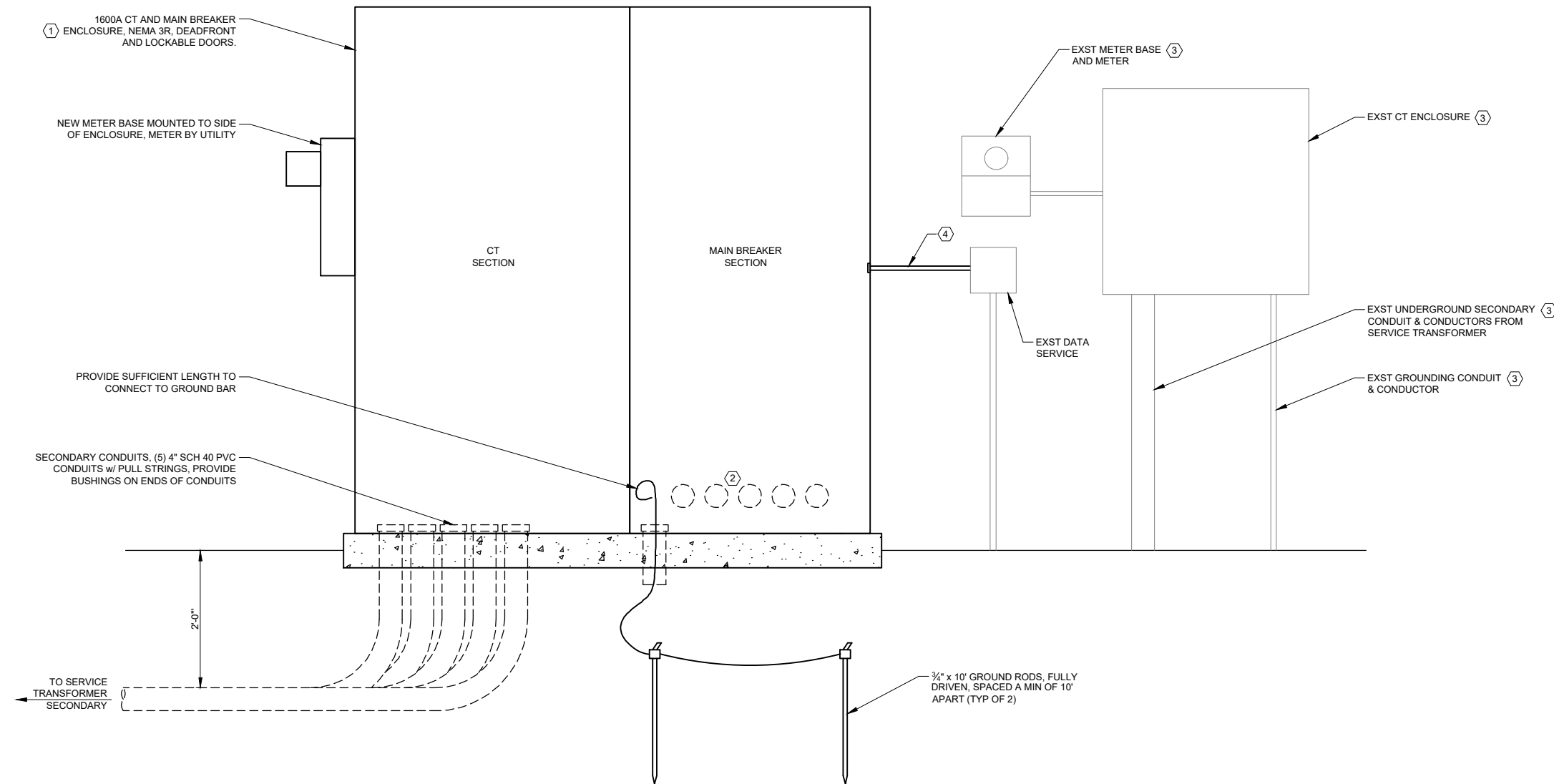
PROJECT NUMBER 10443.001
SHEET NUMBER 4
DRAWING NUMBER E-4

R:\10443\10443-1309 COLE AVE ELECTRICAL UPGRADES\CAD\DRG\10443E-4.DWG

PLOTTED BY: JERRY A. CHAMBERS ON Aug/03/2023

KEY NOTES

- ① MOUNT ENCLOSURE ON 6" THICK CONCRETE PAD WITH #4 REBAR, SPACED 12" APART, EACH WAY. EXTEND PAD 2" BEYOND ENCLOSURE FOOTPRINT, AND A MINIMUM 3" ABOVE FINISHED GRADE.
- ② ROUTE CONDUIT OUT THE BACK OF THE ENCLOSURE THROUGH THE BUILDING WALL AND INTO THE SWITCHBOARD, SWB-1, ON THE INSIDE OF THE BUILDING. SEAL ALL WALL PENETRATIONS.
- ③ REMOVE EXISTING METER BASE, CT ENCLOSURE, AND CONDUIT AFTER SERVICE SWITCHOVER. PATCH ALL WALL PENETRATIONS.
- ④ PROVIDE (1 #12 GND, 3/4"C) TO DATA SERVICE GROUNDING POINT. CONNECT TO GROUND BAR INSIDE MAIN BREAKER SECTION.



NEW EXTERIOR ELECTRICAL SERVICE ELEVATION VIEW
NOT TO SCALE

PRELIMINARY
AUGUST, 2023

R:\10443\1001-1309 COLE AVE ELECTRICAL UPGRADES\CAD\SHETS\IE-5.DWG

VERIFY SCALE!		REVISIONS			
NO.	DESCRIPTION	BY	DATE		

THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.

MODIFY SCALE ACCORDINGLY!

PLOTTED BY: JERRY A. CHAMBERS ON Aug/03/2023



Morrison Maierle
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1 Engineering Place
Helena, MT 59602
406.442.3050
www.m-m.net

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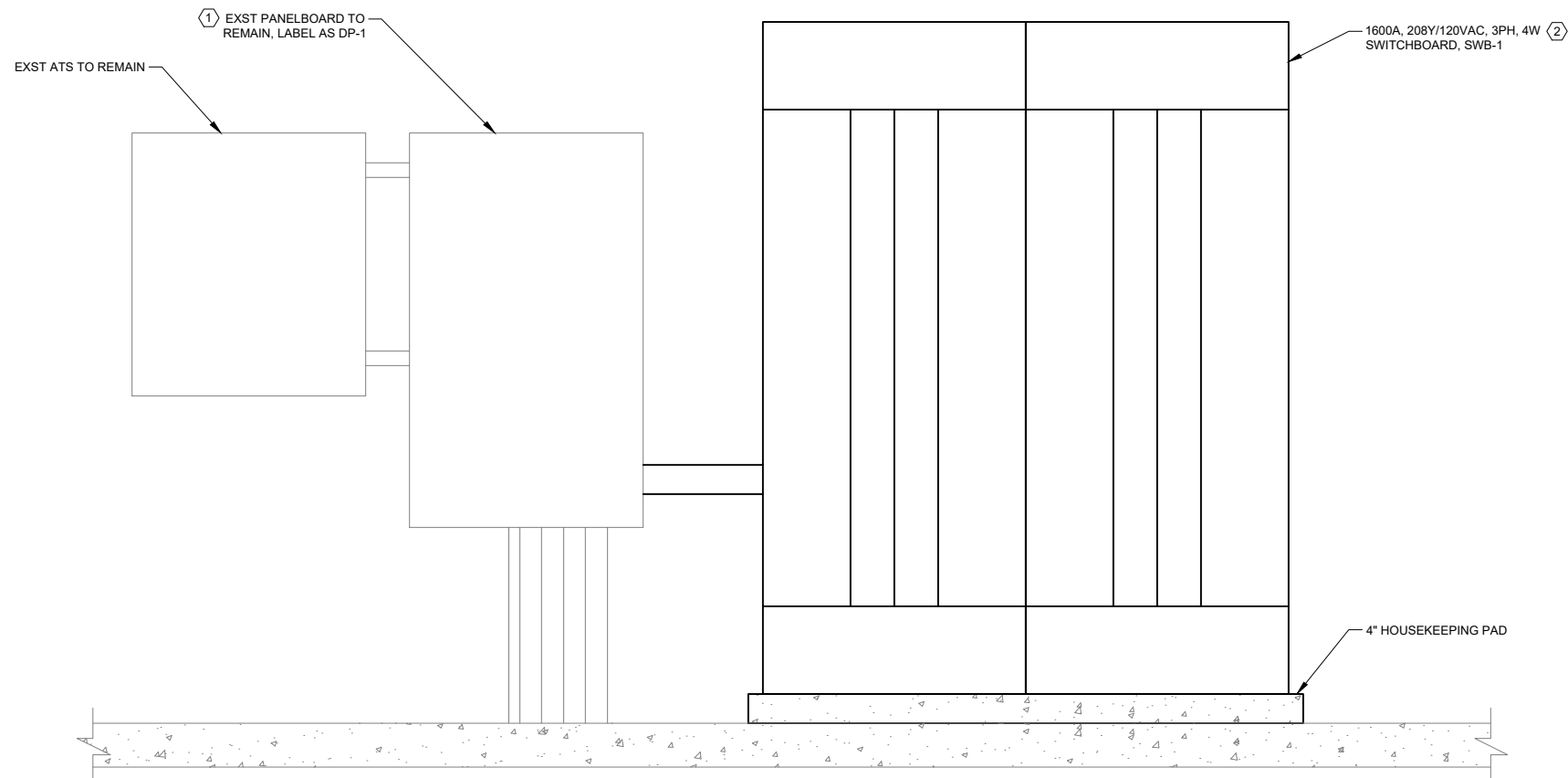
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DSGN. BY: MWB
APPR. BY: MWB
DATE: 08/2023
Q.C. REVIEW BY: _____
DATE: _____

HELENA	BLUE SKY INNOVATION 1309 COLE AVE. ELECTRICAL UPGRADES	MONTANA
EXTERIOR ELECTRICAL SERVICE ELEVATION		

PROJECT NUMBER 10443.001
SHEET NUMBER 5
DRAWING NUMBER E-5

KEY NOTES

- ① EXISTING PANELBOARD TO BE BACK-FED FROM SWITCHBOARD. REPLACE CIRCUIT BREAKERS IN DP-1 WITH 65KAIC RATED BREAKERS.
- ② FEEDER CONDUITS NOT SHOWN FOR DRAWING CLARITY.



NEW INTERIOR ELECTRICAL GEAR ELEVATION
NOT TO SCALE

PRELIMINARY
AUGUST, 2023

R:\1043\1001-1309 COLE AVE ELECTRICAL UPGRADES\CAD\SHSHEETS\E-6.DWG

<p><small>VERIFY SCALE!</small></p> <p><small>THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.</small></p> <p align="center">—————</p> <p><small>MODIFY SCALE ACCORDINGLY!</small></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4" style="text-align: center; padding: 2px;">REVISIONS</th> </tr> <tr> <th style="width: 5%; padding: 2px;">NO.</th> <th style="width: 75%; padding: 2px;">DESCRIPTION</th> <th style="width: 10%; padding: 2px;">BY</th> <th style="width: 10%; padding: 2px;">DATE</th> </tr> </thead> <tbody> <tr> <td style="height: 15px;"> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td style="height: 15px;"> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td style="height: 15px;"> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS				NO.	DESCRIPTION	BY	DATE												
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HELENA	BLUE SKY INNOVATION 1309 COLE AVE. ELECTRICAL UPGRADES	MONTANA
INTERIOR ELECTRICAL GEAR ELEVATION		

PROJECT NUMBER <small>10443.001</small>
SHEET NUMBER <small>6</small>
DRAWING NUMBER E-6

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