



City of Helena
Downtown Urban Renewal District
TAX INCREMENT FINANCING APPLICATION FORM
Community Development Department
Phone (406) 447-8490 Fax (406) 447-8460
citycommunitydevelopment@helenamt.gov

IMPORTANT: APPLICANTS MAY REQUEST UP TO FIFTY PERCENT MATCH (50%) FUNDING FOR PROJECTS EXCEEDING \$10,000 OR UP TO TWENTY-FIVE PERCENT MATCH (25%) FOR PROJECTS EQUAL TO OR LESS THAN \$10,000. COSTS TO BE PAID WITH DOWNTOWN URBAN RENEWAL DISTRICT FUNDS MAY NOT BE INCURRED BY THE APPLICANT PRIOR TO FUNDING APPROVAL AND THE SATISFACTION OF ANY CONDITIONS OF SUCH APPROVAL.

CITY STAFF RESERVE THE RIGHT TO RETURN MATERIALS THAT ARE DEEMED INCOMPLETE OR LACK SUFFICIENT SUPPORTING DOCUMENTATION.

ANYONE SEEKING TIF ASSISTANCE FROM THE CITY OF HELENA MUST SUBMIT A WRITTEN APPLICATION FOR EACH TIF-ASSISTED PROJECT. THE FOLLOWING PROCEDURE HAS BEEN DEVELOPED TO EXPEDITE THE REVIEW OF TIF FUNDING REQUESTS.

1. Initial Contact: Contact the City of Helena Community Development Department, 316 N. Park Avenue, Room 445, Helena, MT 59623, (406) 447-8490, citycommunitydevelopment@helenamt.gov, to discuss the project and determine eligibility for TIF assistance.
2. Prepare a Written Application: The Applicant must prepare a written application for each funding request. The City of Helena staff will assist the applicant with any questions in the preparation of the application. The application should address the questions posed in the Project Narrative section.
3. Staff Review: Upon submittal of all necessary information, City staff will review the merits of the project and the need for funding. At any point in the review process, the staff or Board may request more information of the Applicant or solicit comment on the project from other public agencies. Items included in personal financial statements will not be subject to public review or presentation to or comment by other agencies.
4. Board Review and Approval: The DURD TIF Advisory Board will review the project and staff recommendations, and then recommend the funding request or any part thereof, and any special terms of TIF assistance to the City Commission.
5. Development Agreement: The City of Helena and the Applicant must execute a legally binding contract, which establishes the terms and conditions of the TIF assistance.

CHECKLIST ITEMS

- Project Description
- Project Renderings (where applicable)
- Application Form (pages 4-6)
- Project Financing Worksheet (page 7)
- Project Narrative Section (page 9)



APPLICATION PRIORITY AREAS FOR TIF ASSISTANCE

TIF Applications will be assessed based on the merits of individual projects in relation to the goals and objectives of the Plan, and the project priority areas set by the DURD TIF Advisory Board, which are as follows:

1. Infrastructure Improvement Program: Consideration will be given for projects that identify and prioritize upgrades to water, sewer, stormwater drainage infrastructure, and vehicular and pedestrian/bike transportation improvements as well as increasing fiber optic capability.
2. Site Redevelopment & Public Space Activation Program: Consideration will be given for redevelopment of underutilized or underperforming properties, adaptive reuse of existing structures, demolition activities, or improvements to property aesthetics through enhanced lighting, landscaping, public art, or other creative means to better activates public-facing spaces.
3. DURD Housing Program: Consideration will be given for projects that create or retain affordable housing opportunities.
4. Facade Improvement Program: Consideration will be given for facade improvement projects that promote historic preservation and/or promote designs in keeping with the character of the district.
5. Marketing/Branding Project Program: Consideration will be given for projects establishing a marketing and/or branding plan with a wayfinding component and an implementation strategy for the Downtown Urban Renewal District.
6. Cruse Avenue Redevelopment Program: Consideration will be given for projects that study and implement activities addressing parcel surveying, the future surplus of city-owned property, and infrastructure planning for the Cruse Avenue right-of-way to pave the way for redevelopment activities.
7. Rodney Street Commercial Center Program: Consideration will be given for projects that reinvigorate the Rodney Street Commercial Center through gateway signage, infrastructural connectivity, and public art improvements.



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APPLICATION PRIORITY AREAS FOR TIF ASSISTANCE

Applications will be evaluated based on the following measurable objectives for projects and programs (listed in no particular order of priority):

1. Increased Taxable Valuation: Implementation of the project should encourage and/or result in an increase in the URD's tax base.
2. Relationship of Public and Private Investment: The relationship of private investment to public investment of a project shall be significant enough ensure prudent investment of public funds within the urban renewal district.
3. Job Creation: Projects that create opportunities for new employment contribute to the economic vitality of the District and community in a variety of ways.
4. Investment Spin-off: Projects that have the potential for investment spin-off, yielding a positive impact on the District.
5. Cost-Benefit Analysis of the Investment/Expenditure: Analysis of how the request cost of the TIF funds compares with the benefits of the project to the District.
6. Health and Safety Concerns: The Project's impact, positive or negative, on the environment in terms of noise, dust, pollution, public safety, traffic congestion, pedestrian access, visual aesthetics, etc.
7. Historic Preservation: The Project's capacity to encourage the preservation and protection of the cultural and economic heritage and physical assets of the District.
8. Density, Infill, and Adaptive Reuse: Projects will be evaluated for their ability to encourage or result in infill and adaptive reuse of underutilized and vacant lots and properties, and to promote more compatible, complementary uses within the District.
9. Cost of Public Services: The Project's ability to improve public services, such as water, sewer, sidewalks, parking, improved traffic circulation, etc., to an area that is currently underserved.
10. Housing Component: Projects that promote all types of housing in the area in conformance with the Downtown Neighborhood Plan and the Downtown URD Plan.
11. Conformance with the goals and objectives of the Railroad URD Plan, 2019 City of Helena Growth Policy, and the Downtown Neighborhood Plan: The Project's ability to significantly further specific goals found in the current Urban Renewal Plan, Growth Policy, and consistency with other City plans and objectives.
12. Conformance with Requirements for TIF Fund Expenditures, per 7-15-4288, MCA: Projects must cover eligible project activities stated in Montana statutes and be approved by the City Commission to satisfy needs identified in the Railroad Urban Renewal District Plan.



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Project Name: YWCA Exterior Building Stabilization Date Submitted: 12.22.2023

APPLICANT INFORMATION

Name (First & Last): YWCA Helena (Jenifer Gursky, Executive Director)
 Address: 501 North Park Avenue
 City: Helena State: MT Zip Code: 59634
 Phone: 406-442-8774 Cell: 406-249-9172 Other: _____
 Email: jenifer@ywcahelena.org / denise@ywcahelena.org

If the applicant is not an individual doing business under his/her own name, the applicant has the status indicated below and is organized or operating under the laws of: **State of Montana**

- A non-profit or charitable institution/corporation
- A partnership or corporate entity known as _____
- District Resident
- Local Government
- Other (explain) _____

PROJECT INFORMATION

Building Address: 501 North Park Avenue
 Legal Description: Thompson Placer, S30,T10 N,R03 W, Lot 15A, PM 26 COS #3162755

PROPERTY OWNER INFORMATION

If the property is not owned by the Applicant, written permission from the owner must be included to carry out the project and lease or other materials.

Property Owner (First & Last): YWCA of Helena Montana
 Address: 501 North Park Aveune
 City: Helena State: MT Zip Code: 59601
 Phone: 406-204-5435 Cell: 406-249-9172 Other: _____
 Email: jenifer@ywcahelena.org



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PROJECT ARCHITECTURAL FIRM INFORMATION (WHERE APPLICABLE)

Company/Firm: SMA Architecture
Point of Contact (First & Last): Becky Lawson
Address: 920 Front Street, Suite 101
City: Helena State: MT Zip Code: 59601
Phone: 406-204-7395 Cell: _____ Other: _____
Email: beckyl@sma.design

PROJECT FINANCIAL LENDING INSTITUTION (WHERE APPLICABLE)

Company/Institution: N/A
Point of Contact (First & Last): _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Cell: _____ Other: _____
Email: _____

PROJECT CONTRACTOR INFORMATION (WHERE APPLICABLE)

Company/Firm: N/A
Point of Contact (First & Last): _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Cell: _____ Other: _____
Email: _____

DESCRIPTION OF PROJECT

In a separate attachment, please provide a full written description of your project. Please indicate if the items are existing or new construction.

PROJECT RENDERINGS (IF APPLICABLE)

Submit design schematic and/or site and landscaping plans for project.



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TOTAL COST OF THE PROJECT

Please summarize. A full breakdown of costs is required on the *Project Cost Worksheet*.

The window repair work is anticipated to cost approximately \$118,680 for levels 1 through 3, including the labor, materials, general contractor general conditions, contingency and inflation.

The project also will comply with national and Montana prevailing wages, which is included in the cost summary above.

PROPERTY OWNERSHIP

Do you own the property or are you currently purchasing it? Explain.

YWCA Helena owns the building.

JOB CREATION

Will there be any new permanent or part time jobs as a result of this project excluding construction jobs associated with the development of the project? If so, how many?

There will be no permanent job creations. The constuction project will provide construction jobs during that phase.

PROJECT COMPLETION

What is the expected completion date of the project?

The projected completion will be December 2024.

PROPERTY TAXES

How much are the current annual property taxes including any improvements? Is the payment of taxes current?

Year 2023 Property Taxes \$1,754.97 November 2023 and May 2024 taxes are paid.



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PROJECT COST & FINANCING SECTION

Summarize the project costs on the Project Cost Worksheet. Use general categories and include items that are in the assistance request. The total cost should include land costs and “soft costs” such as zoning processes, surveys, and permits to enable the DURD Advisory Board to evaluate the entire private investment. If in doubt about an item's eligibility, include it. Staff will review the items and help determine eligibility. Briefly describe how the project will be financed and be sure to include equity and other investments into the project. If financing commitment is contingent on grants or URD TIF commitment to the project, has multiple sources, or other complex factors, provide that information.

NOTE: The TIF Program requests which include demolition/deconstruction activities, public sidewalks, streets, alleys and other right-of-way improvements; and/or work on utility main transmission lines totaling over \$25,000 are subject to Montana Prevailing Wage Rates and must include that in the itemized costs.

PROJECT COST WORKSHEET

Professional Services

1. _____	\$ 0
2. _____	\$ _____
Subtotal	\$ _____

Construction/Rehabilitation Costs

1. Existing Window Refurbish and Repair	\$ 117,493.20
2. New Storm Windows	\$ 80,287.02
3. Patch and repair throughout project area	\$ 29,670.00
4. Brick Repointing	\$ 37,087.50
5. Exterior Wood Trim Painting	\$ 74,175.00
6. New Exterior Doors	\$ 14,835.00
Subtotal	\$ 353,547.72

Printing, Advertising, etc.

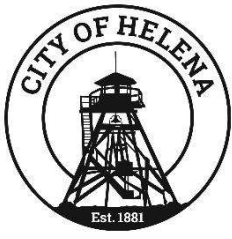
1. _____	\$ 0
2. _____	\$ _____
Subtotal	\$ _____

Other Miscellaneous Costs

1. _____	\$ _____
2. _____	\$ _____
Subtotal	\$ _____

TOTAL PROJECT DEVELOPMENT COSTS

Total \$ 353,547.72



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PROJECT FINANCING WORKSHEET

Owner/Developer Investment

Total applicant investment in the project \$ _____

Listing of Other Funding Sources & Amounts (Continue on separate sheet if needed)

- 1. CDBG-CV \$ 225,387.50
- 2. Private Donor \$ \$10,000
- 3. _____ \$ _____

Request for Eligible items

Total TIF Request \$ 118,160.22

TOTAL PROJECT FINANCING \$ 353,547.72



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PROJECT NARRATIVES SECTION:

1. **Description of Project.** Provide a written description of the project, scope of work if a marketing plan or similar plan, number, and types of jobs to be created, etc.
 - a. Compliance with the Downtown URD Plan: Identify how your project supports the Downtown URD Plan and how the project benefits the neighborhood, URD, and community (See Attachment B for Goals and objectives of the Plan).
 - b. Local Zoning and Other Requirements: All projects assisted by Downtown URD TIF funds must, depending on the project location, comply with the City's Zoning Requirements, provide a brief narrative as to how the design successfully meets the requirements of City Zoning. Include any project schematic, site, and landscaping plans.
 - c. Demolition/Deconstruction: If the project request includes removal of structures, it must be done in accordance with to the provisions of Helena City Code Title 3 Chapter 15. Provide a brief narrative on how the building will be removed and whether it is a structure within the city that is individually listed on the National Register of Historic Places, or a property located within the city's historic districts which is designated by the state historic preservation office (SHPO) as primary or contributing.
 - d. Dislocation: If existing tenants are to be dislocated as a result of the project, provide a separate narrative describing how they have been or will be appropriately relocated.
2. **Logistical Considerations.** Provide a brief narrative describing the following:
 - a. Project Feasibility: The Applicant's demonstration of financial readiness and ability to proceed.
 - b. Applicant's Ability to Perform: The Applicant's capability to undertake the relative complexities of the project.
 - c. Timely Completion: The feasibility of completing the project according to the Applicant's proposed project schedule.
 - d. Payment of Taxes: All property taxes, special improvement district assessments, and other assessments on the project property must be paid to date, where applicable.



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PROJECT NARRATIVES SECTION (CONTINUED):

3. Economic & Community Development Potential: Provide a brief narrative for the following. If not applicable, please note:

- a. Tax generation: Describe how the project will increase the taxable valuation in the District.
- b. Relationship of Public and Private Investment: Describe the relationship of private investment to public investment of a project and discuss how it is a prudent investment of public funds within the urban renewal district.
- c. Job Creation: Are there any jobs created as a result of the project? Please describe.
- d. Investment Spin-off: Describe any potential for investment spin-off having a positive impact on the District.
- e. Cost-Benefit Analysis of the Investment/Expenditure: For projects that are \$10,000 or more, a cost-benefit analysis should be completed.
- f. Health and Safety Concerns: Describe the project's impact, positive or negative, on the environment in terms of noise, dust, pollution, public safety, traffic congestion, pedestrian access, visual aesthetics, etc.
- g. Historic Preservation: Describe the project's ability to preserve and protect the cultural and economic heritage and physical assets of the district.
- h. Density, Infill, and Adaptive Reuse: Describe if the project increases density in the DURD through infill and adaptive reuse of existing property(s).
- i. Cost of Public Services: Describe how the projects will improve public services such as water, sewer, sidewalks parking, improved traffic circulation, etc., to an area currently underserved.
- j. Housing Component: Describe any housing components to the project. One of the main goals of the Downtown Neighborhood Plan and the Downtown URD Plan is to promote all types of housing in the area.
- k. Conformance with Requirements for TIF Fund Expenditures, per 7-15-4288, MCA: Projects must cover eligible project activities stated in Montana state statutes (See Attachment A).

ATTACHMENT A: ELIGIBLE ACTIVITIES

As specified by state law, TIF may be used to finance redevelopment activities including the following (from 7-15-4288, M.C.A.):

1. Land acquisition, including acquisition of infrastructure-deficient areas and assemblage of land for development or redevelopment by private enterprise or public agencies, including sale, initial leasing, or retention by the municipality itself at fair value.
2. Demolition and removal of structures.
3. Relocation of occupants.
4. The acquisition, construction, and improvement of public improvements or infrastructure, including streets, roads, curbs, gutters, sidewalks, pedestrian malls, alleys, parking lots and off-street parking facilities, sewers, sewer lines, sewage treatment facilities, storm sewers, waterlines, waterways, water treatment facilities, natural gas lines, electrical lines, telecommunications lines, rail lines, rail spurs, bridges, publicly owned buildings, and any public improvements, and items of personal property to be used in connection with improvements for which the foregoing costs may be incurred.
5. Costs incurred in the exercise of urban renewal powers (found in 7-15-4233, MCA), including urban renewal projects as authorized by the City Commission.
6. Acquisition of infrastructure-deficient areas or portions of areas;
7. Administrative costs associated with the management of the urban renewal area or targeted economic development district;
8. Assemblage of land for development or redevelopment by private enterprise or public agencies, including sale, initial leasing, or retention by the local government itself at its fair value;
9. The compilation and analysis of pertinent information required to adequately determine the needs of the urban renewal area or targeted economic development district;
10. The connection of the urban renewal area or targeted economic development district to existing infrastructure outside the area or district;
11. The provision of direct assistance to secondary value-adding industries to assist in meeting their infrastructure and land needs within the area or district; and
12. The acquisition, construction, or improvement of facilities or equipment for reducing, preventing, abating, or eliminating pollution.

ATTACHMENT B: GOALS OF THE DOWNTOWN URD

- **Add to downtown vibrancy with a mix of uses**
 - Provide a range of housing for a range on incomes
 - Attract new business types that support residential uses
 - Encourage new business startups
 - Conduct feasibility, market, and other studies
 - Encourage ground floor active use
 - Add to improve urban landscaping with public art, trees, and planting
- **Upgrade Underperforming properties**
 - Develop vacant lots and encourage upgrades to under-performing property gaps
 - Encourage the update and adaptive re-use of buildings for 21st century needs, such as open interiors, improvements to broadband, and for safety and market competitiveness
 - Encourage redevelopment of parking facilities that create gaps in downtown ground-floor retail by allowing for non-parking uses on floor level and parking on other stories
 - Facilitate façade improvements
 - Inventory city properties with potential for higher use and develop criteria for disposition
 - Provide for demolition and site preparation as needed to upgrade properties
- **Invest in infrastructure needed for development**
 - Improve transportation infrastructure for better function and safety for vehicles, pedestrians and bicycles and include street scape features to improve aesthetics, safety, and quality for non-motorists
 - Rectify issues of parcels along and within streets that were not properly surveyed
 - Address improvement needed for fire suppression water flow requirements for higher densities; improve fire engine access and prioritize replacement of older segments of pipe for water and sewer
 - Facilitate storm drainage, and continue to address capacity issues and alternative detention features
 - Expand Fiber capability
 - Invest in capital improvements needed for parks and open spaces
 - Manage parking for optimal efficiency and unitization
 - Retain and address needs of existing city-owned cultural and historic facilities
- **Improve Transit, Pedestrian and Bike Connections**
 - Improve pedestrian and bike facilities
 - Develop a comprehensive bike network
 - Improve vehicle circulation and access to increase retail viability
 - Improve gateways and wayfinding
 - Increase transit options
 - Improve pedestrian connections from parking facilities to destination
- **Create a quality and unique experience**
 - Make improvements to attract more businesses
 - Encourage ground-floor transparency
 - Capitalize on downtown's historic assets

ATTACHMENT B: GOALS OF THE DOWNTOWN URD (CONTINUED)

- **Stimulate Vibrancy with a Mix of Uses (Rodney Street Goal)**
 - Retain the neighborhood character allowing for mixed uses, a variety of residential types, and a central commercial area
 - Keep the area primarily residential with a range of housing types intermixed with offices and government uses
 - Increase residential capacity
 - Retain the Rodney Street Commercial Center as the primary area for retail, with the potential for housing and offices in the upper floors
- **Reinvigorate the Rodney Street Commercial Center (Rodney Street Goal)**
 - Retain and build the Neighborhood Center as the center for retail, commercial and social gathering
 - Improve Rodney Street functionality, infrastructure and aesthetic between 6th and Broadway
 - Create gateways with wayfinding at both ends of the commercial center
 - Create better linkages between the courthouse complex, Myrna Loy center, and Rodney Street
 - Incorporate public art that differentiates the area from Downtown tonto a fun and funky interactive way
 - Monitor parking demand and identify potential for temporary uses or longer term uses

PROJECT DESCRIPTION

YWCA Helena's building, built in 1918, has served as support for women and girls in for over a century. While significant renovations occurred on the first three floors of the building in 2015, what remained untouched was the exterior of the building and the basement's 5,000 ft². The exterior of the historic building needs renovation to ensure the facility can continue to support the critical work of YWCA Helena.

YWCA Helena has been fundraising to address the deferred maintenance of the exterior of the building for approximately 3 years. We were successful in being awarded a CDBG-CV grant in late 2020. This grant was written to create better HVAC and clean air flow for the building's personnel and residents. The CDBG-CV funding for the entirety of the exterior falls short to complete the project. YWCA Helena is requesting Downtown Urban Renewal District TIF funds to complete the project. Specifically, we are requesting funding to complete the window refurbishment and restoration that is needed for YWCA Helena's 132 century-old window.

The windows are original to the building and many no longer operate, need repairs, have broken glass, and do not provide much thermal protection due to their age and condition. A total of 132 windows need refurbishment throughout the building. Additionally, the project plans to install new wood storm windows with a low-emissivity film to help maintain the windows condition and provide much-improved energy efficiency.

The approach to the historic windows has been discussed with the Montana State Historic Preservation Office has their preliminary concurrence.

PROJECT NARRATIVES

1. The YWCA of Helena building, built in 1918, has served as support for women and girls in need since that time. The exterior of the historic building needs renovation to make sure the facility can continue this support. The windows are original to the building and many no longer operate, need repairs, have broken glass, and do not provide much thermal protection due to their age and condition. A total of 132 windows need refurbishment throughout the building. Additionally, the project plans to install new wood storm windows with a low-emissivity film to help maintain the windows condition and provide improved energy efficiency. This approach to the historic windows has been discussed with the Montana State Historic Preservation Office with their preliminary concurrence.
 - A. Compliance with Downtown URD Plan: This needed repair work supports the URD and benefits the neighborhood by updating the exterior of the historic YWCA building. The YWCA is a critical component of the Helena downtown housing range or those on little to no income; **investment in the building will help maintain this range of housing**. The window renovation project will **also improve the YWCA's façade with this work**. **Capitalizing on Helena's historic downtown**, of which the YWCA is a contributing structure, will be possible due to the window repair work.
 - B. Local Zoning: See the attached preliminary construction plans for the project. The project follows zoning requirements and includes no change to current zoning. The project will be permitted through the City of Helena, which also provides zoning oversight on projects to ensure compliance.
 - C. No demolition is anticipated.
 - D. No tenant dislocation is anticipated.

2. LOGICAL CONSIDERATIONS

- a. Project Feasibility: The YWCA of Helena has already received a Montana Department of Commerce CDBG-CV grant for \$607,000.00 for exterior and HVAC renovations. Of this amount, \$225,387.50 is slotted for exterior work. The exterior work needed however, is estimated to cost \$353,547.72, which leaves YWCA Helena \$128,160.22 short. We have secured a \$10,000 gift from a private donor in our community restricted to building renovations and maintenance. Therefore, this TIF funds would provide a substantial financial base for the YWCA to see the work completed. Lead-based paint remediation is included in the project costs. The CDBG-CV funds are structured to utilize alternates to stay within the project budget but still allow the YWCA to achieve specific components. Professional architectural and engineering services will be ongoing through the course of construction, providing observations, documentation, and advocating for the YWCA per the construction contract with the general contractor selected for the work.
- b. Applicant's Ability to Perform: As the City of Helena and the Montana Department of Commerce are involved with the original grant, there is adequate oversight of the project. Previously, the YWCA of Helena has coordinated a substantial interior renovation of the building for \$1.8 million dollars and has experience with complex projects.
- c. Timely Completion: The CDBG project funding must be expended by the end of 2024, therefore the project will be on track for completion at that time. This outside timeframe means that TIF dollars if received will be spent in a timely manner.

d. **Payment of Taxes:** The YWCA of Helena is current on their payment of taxes.

3. **ECONOMIC AND COMMUNITY DEVELOPMENT POTENTIAL:**

- a. **Tax Generation:** By improving the exterior of the YWCA building with repairs, the area surrounding the YWCA may see an increase in commercial activities. We have a downtown, permanent placement in our downtown area. Shoring up the exterior of a building that has been a cornerstone of our community for over a century will not only ensure another century of use for the building, but allow the downtown corridor to shine to our community and tourists.
- b. **Relationship of Public and Private Investment:** This project is a prudent investment of public funds within the urban renewal district as the YWCA is already funded with both public and private funding. The YWCA is experienced in public dollars as public grants provide much of their funding source; therefore, they are an appropriate entity to receive and properly manage public funding. Funding YWCA Helena comes to the tune of over \$1.5 million annually, which means we are a significant economic impact for the downtown area, bringing in federal, state and local public dollars to be spent by both the work happening inside the walls and our employees' paycheck.
- c. **Job Creation:** No new permanent jobs will be created. Construction jobs during the project may be created. However, through the continued support of the YWCA of Helena's building, the funding would support the goals of the women living there. These goals include employment and community contribution in the workforce.
- d. **Investment Spin Off:** With additional funding for this project, the YWCA of Helena will be able to update other exterior components of their building, including historic wood trim repainting and brick repairs / repointing. The project priority remains the window repairs, but YWCA Helena is committed to protecting the legacy and future potential of our historic downtown space.
- e. **Cost Benefit Analysis of the Investment / Expenditure (for projects \$10,000 or more):** The window repairs will enable the YWCA to catch up on deferred maintenance issues at the windows. There are 132 100-year old windows in the building that need repair. Most of these are windows in residents' rooms, the rest in common areas where YWCA Helena conducts business. The windows are original to the structure, so any repair and refurbishment would increase the energy efficiency of each room. Further, YWCA Helena plans to install new, historically appropriate storm windows that will alleviate weathering damage and create another layer of energy efficiency. Annual maintenance and energy budgets will decrease due to the completion of this project.

Further, YWCA Helena employs 30 individuals, 19 of which are full-time, which makes the agency one of the larger downtown employers. The exterior project allows employees operable and restored windows into private therapeutic offices and children's spaces. The economic impact of YWCA Helena is marked not only by the programs that create self-sufficiency and independence for women and families, but by the long-term employment of staff working downtown.

- f. Health and Safety Concerns: During construction, there will be construction equipment present on the surrounding exterior and sidewalks of the YWCA, which will require City of Helena permitting. Lead based paint will be remediated at the windows per Montana DEQ and HUD funding requirements. The YWCA's exterior aesthetics will be positively improved. Residents of the building will be able to have safe, operable windows (a building code requirements) for natural air and ventilation.
- g. Density, Infill, and Adaptive Reuse: Funding this project would maintain the current use of the YWCA of Helena building, which as single room occupancy provides critical density housing for 24 women and up to 24 children in the downtown district. At writing of this application, the building is housing 46 individuals.
- h. Cost of Public Services: The YWCA serves those in need in the community and provides access to public services. YWCA Helena is a licensed 2.1 Substance Use Disorder recovery program, a licensed community Mental Health Center, and offers transitional and supportive housing to up to 24 women. These programs are instrumental to the success of families living independently in our family. YWCA Helena's programs are incredibly cost-effective. Improvements made to the exterior of the building, such as the windows, helps this area of downtown Helena. It also provides safe, low-income housing for each of the 24 residents at YWCA Helena. The windows project is essential to continue programs and safely housing women and children.
- i. Housing Component: The YWCA of Helena provides housing for women and children experiencing homelessness in our community. This building and its windows are critical to the Helena area's approach to ending homelessness and providing critical support services. With funding for the exterior of the YWCA, the City will continue to support low-income and homelessness relief efforts.
- j. Conformance with Requirements for TIF Fund Expenditures per 7-15-4288, MCA: Eligible activities with this project include #11 - The provision of direct assistance to secondary value-adding industries to assist in meeting their infrastructure and land needs within the area or district. The project would improve the YWCA's infrastructure within the district. Additionally, #12 - The acquisition, construction, or improvement of facilities or equipment for reducing, preventing, abating, or eliminating pollution. With the remediation of the lead-based paint at the windows, that pollution will be reduced. This remediation is a critical component of the window repairs project.

YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES

PERMIT SET | 2023-11-21

SMA #22-093

PROJECT ADDRESS

YWCA OF HELENA
501 N. PARK AVE.
HELENA, MT 59601

PROJECT TEAM

OWNER:
YWCA OF HELENA
501 N. PARK AVE.
HELENA, MT 59601

ARCHITECTS:
SMA ARCHITECTURE + DESIGN, P.C.
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HELENA, MT 59601
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ENGINEERS:

MECHANICAL, ELECTRICAL, PLUMBING:
ASSOCIATED CONSTRUCTION ENGINEERING (ACE)
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RYAN GRAMM, P.E., LEED A.P.

PROJECT SUMMARY:

PROJECT SUMMARY:
PROJECT CONSISTS OF THE REFURBISHMENT OF THE EXISTING WOOD WINDOWS AT THE HISTORIC YWCA BUILDING IN HELENA, MONTANA. WORK INCLUDES THE ADDITION OF NEW WOOD STORM WINDOWS WITH LOW-E FILM, AT ALL EXISTING WOOD WINDOWS AND WORK AT ALL EXISTING WOOD WINDOWS INCLUDING THE INSTALLATION OF NEW SEALS AND WEATHERSTRIPPING, OPERABILITY REPAIRS, REPAINTING, AND REPLACEMENT OF BROKEN GLAZING WHERE NEEDED. PROJECT ALSO INCLUDES NEW AIR CONDITIONING SYSTEM ON FLOORS 1 THROUGH 3.

THE YWCA BUILDING WAS BUILT IN 1918 AND IS ON THE NATIONAL REGISTER OF HISTORIC PLACES AND WITHIN THE HELENA HISTORIC DISTRICT OF DOWNTOWN HELENA, MT. THE PROJECT SCOPE AND DESIGN APPROACH HAS ALREADY BEEN PRESENTED TO MONTANA STATE HISTORIC PRESERVATION OFFICE FOR REVIEW, WITH NO ADDITIONAL COORDINATION REQUIRED BY CONTRACTOR UNLESS NOTIFIED BY ARCHITECT.

ALTERNATES

ALTERNATE 01: BRICK REPOINTING
ALTERNATE 02: NEW EXTERIOR DOORS

GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
- DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 24X36" AND IN COLOR.
- HORIZONTAL DIMENSIONS SHOWN INDICATE FACE OF (F.O.) CONCRETE, F.O. STUD, CENTERLINE OF COLUMN GRIDLINE, OR F.O. FINISH (INTERIOR), U.N.O.; VERTICAL DIMENSIONS INDICATE TOP OF (T.O.) SLAB, T.O. SUBFLOOR, OR T.O. FINISH, U.N.O.
- INFORMATION REGARDING EXISTING SITE CONDITIONS USED TO PREPARE THESE DRAWINGS HAS BEEN PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. PROVIDE WRITTEN NOTIFICATION TO THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, DATUM, LEVELS AND CONDITIONS PERTAINING TO THE WORK PRIOR TO COMMENCING CONSTRUCTION. PROVIDE WRITTEN NOTIFICATION TO THE ARCHITECT OF ANY DISCREPANCIES WITH THE DOCUMENTS. THE ARCHITECT WILL ISSUE A WRITTEN DIRECTIVE IF FURTHER CLARIFICATION IS REQUIRED.

CODE INFORMATION

2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC):

R501.6 HISTORIC BUILDINGS.
PROVISIONS OF THIS CODE RELATING TO THE CONSTRUCTION, REPAIR, ALTERATION, RESTORATION AND MOVEMENT OF STRUCTURES, AND CHANGE OF OCCUPANCY SHALL NOT BE MANDATORY FOR HISTORIC BUILDINGS PROVIDED THAT A REPORT HAS BEEN SUBMITTED TO THE CODE OFFICIAL, AND SIGNED BY THE OWNER, A REGISTERED DESIGN PROFESSIONAL, OR A REPRESENTATIVE OF THE STATE HISTORIC PRESERVATION OFFICE OR THE HISTORIC PRESERVATION AUTHORITY HAVING JURISDICTION, DEMONSTRATING THAT COMPLIANCE WITH THAT PROVISION WOULD THREATEN, DEGRADE OR DESTROY THE HISTORIC FORM, FABRIC OR FUNCTION OF THE BUILDING.

RENOVATION PROJECT INVOLVING WINDOWS DEVELOPED WITH CONCURRENCE OF MONTANA SHPO AND DETERMINED TO BE ACCEPTABLE.

R503.1.1 BUILDING ENVELOPE.

BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH SECTION R402.1.2 OR R402.1.4, SECTIONS R402.2.1 THROUGH R402.2.12, R402.3.1, R402.3.2, R402.4.3 AND R402.4.5.

EXCEPTION: THE FOLLOWING ALTERATIONS SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION PROVIDED THAT THE ENERGY USE OF THE BUILDING IS NOT INCREASED:

- STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.

NEW STORM WINDOWS TO FEATURE LOW-E WINDOW FILM AT INTERIOR FACE OF GLAZING TO IMPROVE THERMAL PERFORMANCE OF AGGREGATE WINDOW ASSEMBLY. EXISTING OPERABLE SASHES WILL BE REFITTED WITH NEW SEALS. CURRENTLY NO SEALS OR WEATHERSTRIPPING IS IN PLACE TO GREATLY REDUCE AIR INFILTRATION. NEW INSECT SCREENS WILL BE PROVIDED (STANDARD 2" HEIGHT, THOUGH WIDTH VARIES) TO SATISFY CODE VENTILATION REQUIREMENTS IN PROJECT.

WHILE THERE ARE NO CODE REQUIREMENTS FOR A WINDOWS REFURBISHMENT PROJECT OF THIS TYPE BEYOND HISTORIC CONSIDERATIONS FOR EXISTING BUILDINGS, THE INTENT OF THIS PROJECT IS TO GREATLY IMPROVE THE ENERGY EFFICIENCY OF THE EXISTING HISTORIC WOOD WINDOWS.

R504.1 GENERAL.
BUILDINGS, STRUCTURES AND PARTS THEREOF SHALL BE REPAIRED IN COMPLIANCE WITH SECTION R501.3 AND THIS SECTION. WORK ON NONDAMAGED COMPONENTS NECESSARY FOR THE REQUIRED REPAIR OF DAMAGED COMPONENTS SHALL BE CONSIDERED TO BE PART OF THE REPAIR AND SHALL NOT BE SUBJECT TO THE REQUIREMENTS FOR ALTERATIONS IN THIS CHAPTER. ROUTINE MAINTENANCE REQUIRED BY SECTION R501.3, ORDINARY REPAIRS EXEMPT FROM PERMIT, AND ABATEMENT OF WEAR DUE TO NORMAL SERVICE CONDITIONS SHALL NOT BE SUBJECT TO THE REQUIREMENTS FOR REPAIRS IN THIS SECTION.
R504.2 APPLICATION.

FOR THE PURPOSES OF THIS CODE, THE FOLLOWING SHALL BE CONSIDERED TO BE REPAIRS:

- GLASS-ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME.

IBC 2021:

GROUP R-2 OCCUPANCY, TYPE IIB, SPRINKLERED: 4 STORIES/16,000 SQUARE FEET MAXIMUM.
EXISTING BUILDING (BUILT IN 1918) = IS CLASSIFIED AS TYPE IIB CONSTRUCTION.

EXTERIOR BEARING WALLS MUST HAVE A 2 HOUR FIRE RESISTANCE RATING.
INTERIOR BEARING WALLS MUST HAVE A 1 HOUR FIRE RESISTANCE RATING.
FLOOR CONSTRUCTION MUST HAVE A 1 HOUR FIRE RESISTANCE RATING.
ROOF CONSTRUCTION MUST HAVE A 1 HOUR FIRE RESISTANCE RATING.

EXTERIOR WALL CONSTRUCTION OF CLAY TILE AND BRICK CONSTRUCTION IS EVALUATED TO HAVE A 2-HOUR MINIMUM FIRE RESISTANCE RATING. PER TABLE 602. MINIMUM FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE. FOR R OCCUPANCIES THE MINIMUMS LISTED ARE 1-HOUR FOR A DISTANCE LESS THAN 30'. THE 2-HOUR RATING OF THE EXISTING MASONRY EXTERIOR WALLS EXCEEDS THIS REQUIREMENT AND COMPLIES REGARDLESS OF SEPARATION DISTANCE.

FIRE-RESISTANCE RATING: EXCEPTION: DWELLING AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPE IIB CONSTRUCTION SHALL HAVE FIRE RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

FIRE PARTITIONS BETWEEN DWELLING AND SLEEPING UNITS PER 420.2 SHALL HAVE A RATING OF NOT LESS THAN 1 HOUR. NO EXCEPTIONS APPLY.

IEBC 2021:

603.1 - SCOPE ALTERATION LEVEL 2
LEVEL 2 ALTERATIONS INCLUDE THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT, AND SHALL APPLY WHERE THE WORK AREA IS EQUAL TO OR LESS THAN 50 PERCENT OF THE BUILDING AREA.

ADDITIONAL HVAC EQUIPMENT IS BEING INSTALLED THEREFORE THIS PROJECT IS A LEVEL 2 ALTERATION.

801.3 - SYSTEM INSTALLATIONS
REQUIREMENTS RELATED TO WORK AREA ARE NOT APPLICABLE WHERE THE LEVEL 2 ALTERATIONS ARE LIMITED SOLELY TO ONE OR MORE OF THE FOLLOWING:

- MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS, FIRE PROTECTION SYSTEMS AND ABATEMENT OF HAZARDOUS MATERIALS.
- WINDOWS, HARDWARE, OPERATING CONTROLS, ELECTRICAL OUTLETS AND SIGNS.
- ALTERATIONS UNDERTAKEN FOR THE PRIMARY PURPOSE OF INCREASING THE ACCESSIBILITY OF A FACILITY.

SCOPE OF THIS PROJECT IS SOLELY ADDITION OF MECHANICAL EQUIPMENT AND THE REPAIR OF EXISTING WINDOWS IN PLACE THEREFORE REQUIREMENTS RELATED TO WORK AREA ARE NOT APPLICABLE TO THIS PROJECT.

1202.1 - GENERAL
REPAIRS TO ANY PORTION OF A HISTORIC BUILDING OR STRUCTURE SHALL BE PERMITTED WITH ORIGINAL OR LIKE MATERIALS AND ORIGINAL METHODS OF CONSTRUCTION, SUBJECT TO THE PROVISIONS OF THIS CHAPTER. HAZARDOUS MATERIALS, SUCH AS ASBESTOS AND LEAD-BASED PAINT, SHALL NOT BE USED WHERE THE CODE FOR NEW CONSTRUCTION WOULD NOT PERMIT THEIR USE IN BUILDINGS OF SIMILAR OCCUPANCY, PURPOSE AND LOCATION.

ALL REPAIRS WILL BE MADE WITH SIMILAR / ORIGINAL MATERIALS KEEPING THE HISTORIC NATURE OF THE BUILDING INTACT.

IEBC 2021:

1202.2 - REPLACEMENT
REPLACEMENT OF EXISTING OR MISSING FEATURES USING ORIGINAL MATERIALS SHALL BE PERMITTED. PARTIAL REPLACEMENT FOR REPAIRS THAT MATCH THE ORIGINAL IN CONFIGURATION, HEIGHT AND SIZE SHALL BE PERMITTED.

REPLACEMENT GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH THE SAFETY GLAZING REQUIREMENTS OF CHAPTER 24 OF THE INTERNATIONAL BUILDING CODE.
EXCEPTION: GLASS BLOCK WALLS, LOUVERED WINDOW AND JALOUSIES REPAIRED WITH LIKE MATERIALS.



SHEET INDEX

000 COVER SHEET

COVER SHEET

ARCHITECTURAL DRAWINGS

A0.00 ARCHITECTURAL LEGEND & ABBREVIATIONS
A0.10 ARCHITECTURAL SITE PLAN
A1.00 WALL/ROOF/FLOOR ASSEMBLIES
A1.30 WINDOW TYPES, DOOR TYPES
A2.00 FLOOR PLANS
A2.01 FLOOR PLANS
A2.20 REFLECTED CEILING PLANS
A2.21 REFLECTED CEILING PLAN
A3.00 EXTERIOR ELEVATIONS & REPAIRING PHOTOS
A3.01 EXTERIOR ELEVATIONS & REPAIRING PHOTOS
A6.00 WINDOW DETAILS

MECHANICAL DRAWINGS

M0.0 MECHANICAL COVER SHEET
M0.2 MECHANICAL SPECIFICATIONS
M3.0 MECHANICAL BASEMENT AND FIRST FLOOR REMODEL PLANS
M3.1 MECHANICAL SECOND AND THIRD FLOOR REMODEL PLAN
M6.0 MECHANICAL DETAILS

ELECTRICAL DRAWINGS

E0.0 ELECTRICAL COVER SHEET
E3.0 ELECTRICAL BASEMENT AND FIRST FLOOR POWER REMODEL PLAN
E3.1 ELECTRICAL SECOND AND THIRD FLOOR POWER REMODEL PLAN

GENERAL NOTES

- PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING BUT NOT LIMITED TO, ALL OTHER WORK THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ANY SERVICES INDICATED TO REMAIN. SERVICES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUB-STRATA FOR NEW FINISHES.
- REMOVE ALL ITEMS SHOWN AS "DASHED" ON DEMOLITION DRAWINGS.
- EXIT PATHS SHALL BE MAINTAINED CLEAR OF EQUIPMENT, MATERIAL & DEBRIS.
- DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING & THE SITE & DISPOSED OF IN A LEGAL MANNER. SURFACES IN THE CONSTRUCTION AREA SHALL BE MAINTAINED IN A BROOM CLEAN CONDITION AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL MAINTAIN & ADHERE TO ALL CURRENT LIFE-SAFETY & INTERIM LIFE-SAFETY RULES & REGULATIONS THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL PATCH &/OR REPAIR ANY & ALL SURFACES DAMAGED OR REMOVED DURING DEMOLITION TO MATCH EXISTING SURFACES UNLESS SURFACES ARE TO RECEIVE NEW FINISHES OR UNLESS NOTED OTHERWISE. REFER TO & COORDINATE WITH STRUCTURAL.
- ALL BUILDING SERVICES, INCLUDING MECHANICAL, PLUMBING & ELECTRICAL SHALL NOT BE DISRUPTED FOR ANY LENGTH OF TIME NO MATTER HOW MINIMAL, UNLESS COORDINATED & APPROVED BY THE GENERAL CONTRACTOR & THE OWNER.
- CONTRACTOR SHALL INSPECT EXISTING CONDITIONS PRIOR TO WORK. PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR WILL REPAIR OR CLEAN DAMAGED OR DIRTY SURFACES ADJACENT TO PROJECT WORK AREAS (CAUSED BY CONSTRUCTION ACTIVITIES) TO MATCH ORIGINAL CONDITION.
- SEE MECHANICAL, PLUMBING & ELECTRICAL FOR DEMOLITION REQUIREMENTS FOR THOSE DISCIPLINES.
- BUILDING TO BE OCCUPIED AND IN USE DURING COURSE OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL CONSTRUCTION WORK, DEMOLITION, PHASING, ETC. WITH OWNER PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SAFETY CONDITIONS FOR BUILDING OCCUPANTS AND VISITORS, INCLUDING ENTRANCE PROTECTION, FLAGGING, SIGNAGE, BARRIERS, ETC.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING DUST AND DEBRIS BARRIERS WHERE NEEDED AT ALL TIMES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY, REMEDIATION, AND ENCAPSULATION REQUIREMENTS FOR WORKING IN AREAS WHERE LEAD BASED PAINT AND OTHER HAZARDOUS MATERIALS ARE PRESENT. SEE HAZARDOUS MATERIALS REPORT PROVIDED IN SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE SAFETY FOR ALL BUILDING USERS, VISITORS, PEDESTRIANS, AND TRAFFIC ON ADJACENT STREETS. SEE SITE PLAN FOR MORE INFORMATION.



ARCHITECT SEAL:

PROJECT: YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES

PROJECT NUMBER: 22-093

PROJECT LOCATION: 501 N. PARK AVE. HELENA, MT 59601

PREPARED FOR: YWCA OF HELENA

LOGO:

eliminating racism
empowering women
ywca

CONSULTANT:

KEYMAP:

REVISIONS:

No.	Date	Revision Description
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NOT FOR CONSTRUCTION

TEAM:

DRAWN BY: TJR

CHECKED BY: BL

TITLE:

COVER SHEET

PERMIT SET

DATE: 2023-11-21

PROJECT NUMBER: 22-093

SHEET NO.:

000

ARCHITECT SEAL:

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CONSULTANT:

KEYMAP:

REVISIONS		
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NOT FOR CONSTRUCTION

TEAM: DRAWN BY: TJR
 CHECKED BY: BL

ARCHITECTURAL LEGEND & ABBREVIATIONS

DATE: **2023-11-21**

PROJECT NUMBER: **22-093**

A0.00

SHEET LEGEND

BUILDING SECTION CALLOUT <p>SECTION NUMBER DIRECTION OF CUT SHEET NUMBER</p>	VIEW CALLOUT <p>SECTION NUMBER VIEW NAME VIEW SCALE SHEET NUMBER</p>	INTERIOR ELEVATION CALLOUT <p>SHEET NUMBER DIRECTION OF VIEW VIEW NUMBER</p>	NORTH ARROW <p>PROJECT NORTH</p>	DOOR SYMBOL
WALL SECTION CALLOUT <p>SECTION NUMBER DIRECTION OF CUT SHEET NUMBER</p>	DETAIL VIEW CALLOUT <p>DETAIL NUMBER SHEET NUMBER</p>	EXTERIOR ELEVATION CALLOUT <p>SECTION NUMBER DIRECTION OF CUT SHEET NUMBER</p>	LEVEL CALLOUT <p>LEVEL TITLE LEVEL ELEVATION</p>	WINDOW TYPE SYMBOL
				KEYNOTE CALLOUT

TYPICAL ARCHITECTURAL ABBREVIATIONS

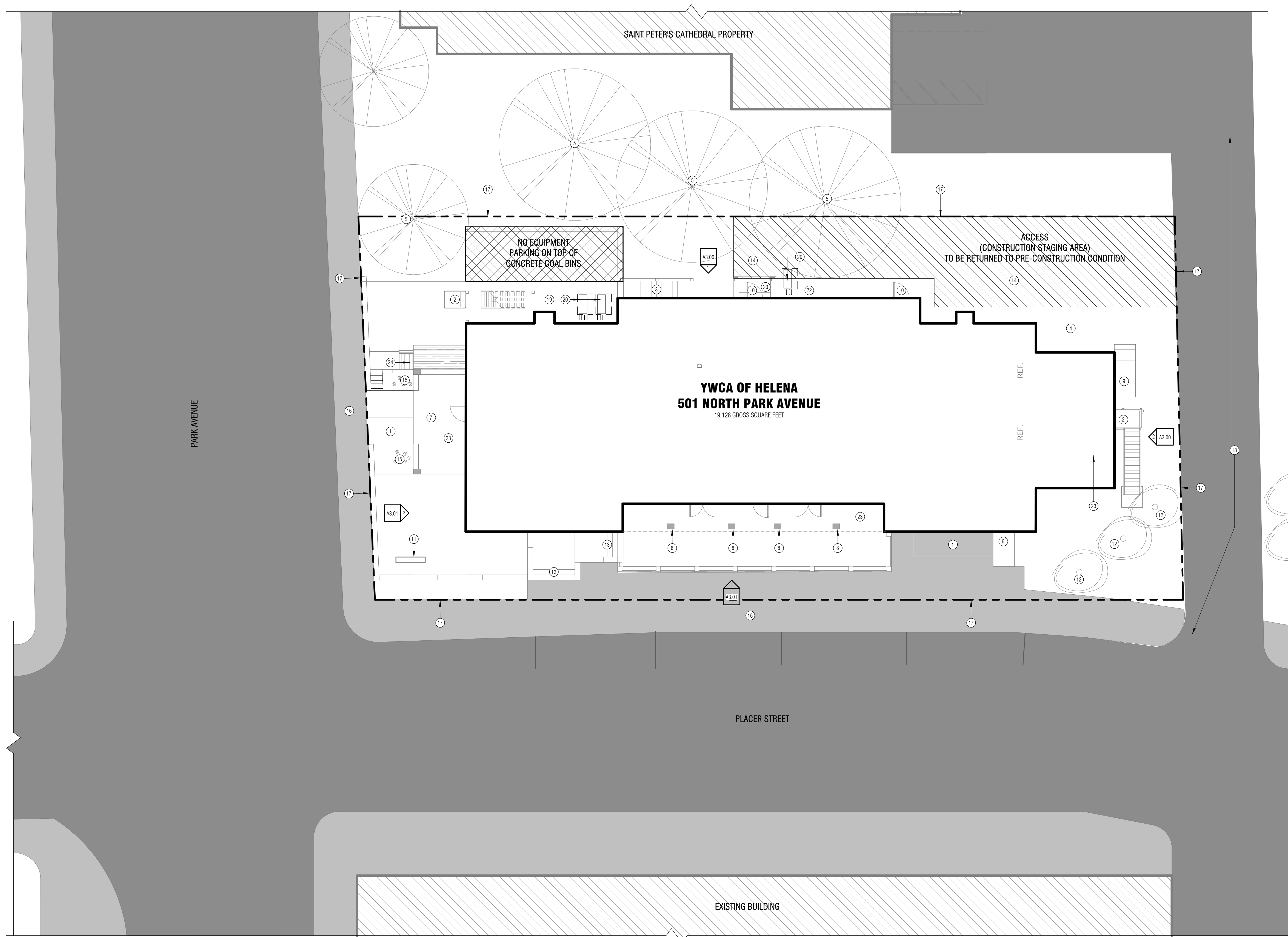
(E) EXISTING	CG CORNER GUARD	DL DEAD LOAD	FIN. FINISHED	IEBC INTERNATIONAL EXISTING BUILDING CODE	MTL METAL	QTY QUANTITY	SLNT SEALANT	TPO THERMOPLASTIC POLYOLEFIN
(N) NEW	CH CHANNEL	DN DOWN	FLR FLOOR	IECC INTERNATION ENERGY CONSERVATION CODE	MULL MULLION	R RISER	SM SURFACE MOUNTED	TS TUBE STEEL
A.C.T. ACOUSTIC CEILING TILE	CI CUBIC INCHES	DR DOOR	FLUOR FLUORESCENT	IFC INTERNATIONAL FIRE CODE	N NORTH	RA ROOF ASSEMBLY	SOG SLAB ON GRADE	TV TELEVISION
A.F.F. ABOVE FINISHED FLOOR	CJ CONTROL JOINT	DS DOWNSPOUT	FND FOUNDATION	IFGC INTERNATIONAL FUEL GAS CODE	N.I.C. NOT IN CONTRACT	RAD RADIUS	SPEC. SPECIFICATION	TYP. TYPICAL
A.I.B. AIR INFILTRATION BARRIER	CL CENTERLINE	DTL(S) DETAIL OR DETAILS	FOC FACE OF CONCRETE	IMC INTERNATIONAL MECHANICAL CODE	NA NOT APPLICABLE	RB RUBBER BASE	SQ. SQUARE	U.L. UNDERWRITERS LABORATORIES
A/C AIR CONDITIONING	CLG CEILING	DWG DRAWING	FOF FACE OF FINISH	IN INCH	NAT. NATURAL	RC ROOF/CEILING	SS STAINLESS STEEL	U.N.O. UNLESS NOTED OTHERWISE
ACOUST ACOUSTICAL	CLR CLEAR	E EAST	FOS FACE OF STUD	INCL INCLUDED	NEC NATIONAL ELECTRICAL CODE	RCP REFLECTED CEILING PLAN	STC SOUND TRANSMISSION CLASS	U/ UNDER
ADD. ADDITIVE	CLR CLEAR	E.J. EXPANSION JOINT	FOUND. FOUNDATION	INFIL INFILTRATION	NEC. NECESSARY	RD ROOF DRAIN	STD. STANDARD	UBC UNIFORM BUILDING CODE
ADJ. ADJACENT	CMNT CEMENT	E.W. EXTERIOR WALL	FOW FACE OF WALL	INFO INFORMATION	NO NUMBER	REC RECESSED	STL. STEEL	UG UNDERGROUND
ALT. ALTERNATE	CMU CONCRETE MASONRY UNIT	EA. EACH	FRP FIBERGLASS REINFORCED PANEL	INSUL. INSULATION	NDM. NOMINAL	RECOMM. RECOMMENDATION(S)	STOR. STORAGE	UH UNIT HEATER
ALUM. ALUMINUM	CO CLEAN OUT	EIFS EXTERIOR INSULATION FINISH SYSTEM	FSD FIRE SEPARATION DISTANCE	INT. INTERIOR	NTS NOT TO SCALE	REF REFERENCE	STRUCT. STRUCTURAL	UR URINAL
ANOD. ANODIZED	COL(S) COLUMNS	ELEC. ELECTRICAL	FT FOOT OR FEET	IWA INTERIOR WALL ASSEMBLY	O.C. ON CENTER	REFR/REF REFRIGERATOR	SUBFLR SUBFLOOR	UV UNIT VENTILATOR
APPROX. APPROXIMATE	COMP. COMPOSITE	ELEV. ELEVATION	FT. FOOT	JAN JANITOR	O.H. OVERHANG	REINF REINFORCING	SUSP SUSPENDED	V.B. VAPOR BARRIER
ARCH. ARCHITECT	CONC. CONCRETE	ELEV. ELEVATOR	FTG FOOTING	JST JOIST	O/ OVER	REQ. REQUIRED/REQUIREMENT(S)	SV SHEET VINYL	VAC VACUUM
ARM. ADMINISTRATIVE RULES OF MONTANA	COND. CONDITION	ENCL. ENCLOSURE	G.A. GYPSUM ASSOCIATION	LAV. LAVATORY	OC OCCUPANTS	RES RESILIENT	SY SQUARE YARD	VAR VARIES
ASSEMB. ASSEMBLY	CONF. CONFERENCE	EO ELECTRICAL OUTLET	G.C. GENERAL CONTRACTOR	LF LINEAL FOOT	OD OUTSIDE DIAMETER	REV REVERSED	T&G TONGUE AND GROOVE	VCT VINYL COMPOSITE TILE
AUTO AUTOMATIC	CONN. CONNECTION	EP ELECTRICAL PANEL	GA GAUGE	LOC. LOCATION	OH OVERHEAD	RIG. RIGID	T.B. TEST BORE	VEN VENEER
B.O. BOTTOM OF	CONST. CONSTRUCTION	EQ EQUAL	GALV GALVANIZED	LSL LAMINATED STRAND LUMBER	OPER. OPERABLE	RM ROOM	T.O. TOP OF	VERT. VERTICAL
B.O.W. BOTTOM OF WALL	CONT. CONTINUOUS	EQUIP. EQUIPMENT	GR GRAB BAR	LVL LAMINATED VENEER LUMBER	OPNG OPENING	RO ROUGH OPENING	T.O. FTG TOP OF FOOTING	VEST VESTIBULE
BARR. BARRIER	CONT./CONTR. CONTRACTOR	EXH EXHAUST	GEN GENERAL	LVR LOUVER	OPP OPPOSITE	RV ROOF VENT	T.O. SL. TOP OF SLAB	VFY VERIFY
BD BOARD	COORD. COORDINATE	EXP EXPANSION	GEOTECH. GEOTECHNICAL	LVT LUXURY VINYL TILE	PART. PARTITION	S SOUTH	T.O. B. TOP OF BEAM	VG VERTICAL GRAIN
BITUM. BITUMINOUS	CUH CABINET UNIT HEATER	EXT. EXTERIOR	GI GALVANIZED IRON	M MEN'S	PART. BD. PARTICLE BOARD	S.C. SOLID CORE	T.O.C. TOP OF CONCRETE	VN VINYL
BLDG. BUILDING	CW COLD WATER	EXTR. EXTRUDED	GL GLASS	MACH. MACHINE	PC PRECAST CONCRETE	S.I.P. STRUCTURAL INSULATED PANEL	T.O.P. TOP OF PLATE	VP VENEER PLASTIC
BRG BEARING	CY CUBIC YARD	F.F. FLOOR FINISH	GLB GLULAM BEAM	MAT. MATERIAL	PERIM. PERIMETER	SACT SUSPENDED ACOUSTICAL CEILING TILE	T.O.S. TOP OF STEEL	VT VINYL TILE
BSBD BASEBOARD	DBL DOUBLE	F.F.L. FINISHED FLOOR LEVEL	GR. GROSS	MAX. MAXIMUM	PL PLATE	SAT SUSPENDED ACOUSTICAL TILE CEILING	T.O.W. TOP OF WALL	VWC VINYL WALL COVERING
BTWN BETWEEN	DED. DEDUCTIVE	F.O. FACE OF	GRB GYPSUM WALL BOARD	MDF MEDIUM DENSITY FIBERBOARD	PLAM PLASTIC LAMINATE	SCHED. SCHEDULE	T.B. TOWEL BAR	W WEST/WOMEN'S
BYND. BEYOND	DEF. DEFINITION	FA FLOOR ASSEMBLY	GYP GYPSUM	MECH. MECHANICAL	PLAST PLASTIC	SECT SECTION	TEL TELEPHONE	W WITH
C.C. CENTER TO CENTER	DEMO. DEMOLISH	FABR FABRICATE	H.M. HOLLOW METAL	MEMB. MEMBRANE	PLYWD. PLYWOOD	SF SQUARE FEET	TEMP TEMPERATURE	W/D WASHER/DRYER
C.L.L. CONTRACT LINE LIMIT	DEPT DEPARTMENT	FC FLOOR-CEILING	HB HOSE BIB	MEZZ MEZZANINE	PXL PANEL	SHATH,SHTHG SHEATHING	TEMP. TEMPORARY	W/O WITHOUT
C.T. CERAMIC TILE	DF DRINKING FOUNTAIN	FDC FIRE DEPARTMENT CONNECTION	HC HANDICAPPED	MFR. MANUFACTURER	PRE-MAN. PRE-MANUFACTURED	SHGC SOLAR HEAT GAIN COEFFICIENT	THERM. THERMOSTAT	WB WOOD BASE
CAB CABINET	DIA DIAMETER	FE FIRE EXTINGUISHER	HDR HEADER	MH MAN HOLE	PREFIN. PREFINISHED	SHLVNG SHELVING	THK THICK	WC WATER CLOSET
CAP CAPACITY	DIAG DIAGONAL	FEC FIRE EXTINGUISHER CABINET	HORIZ HORIZONTAL	MIN. MINIMUM or MINUTE	PSL PARALLEL STRAND LUMBER	SHTV SHELVES	THROUGH THROUGHOUT	WD WOOD
CDX EXTERIOR GRADE PLYWOOD	DIM DIMENSION	FFHB FROST FREE HOSE BIB	HR. HOUR	MIRR MIRROR	PT POINT	SHT SHEET	THRU THROUGH	WH WATER HEATER
CENT. CENTERED	DISP DISPENSER	FG FINISH GRADE	HSS HOLLOW STEEL SECTION	MISC. MISCELLANEOUS	PVC POLYVINYL CHLORIDE PLASTIC POLYMER	SHWR SHOWER	TJI TRUSS JOIST INCORPORATED	WIND WINDOW
CF CUBIC FEET	DIST. DISTANCE	FGH FIRE HYDRANT	IBC INTERNATIONAL BUILDING CODE	MO MASONRY OPENING	PVMT PAVEMENT	SIM SIMILAR	TOT. TOTAL	W/WF WELDED WIRE FABRIC
								WWM WIRE MESH

SHEET NOTES - SITE PLAN

1. FIELD VERIFY ALL EXISTING CONDITIONS.
2. BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. STAGING AREA AS DEPICTED IN PLAN.
3. THE LOCATIONS OF (E) BUILDINGS, UTILITIES AND OTHER SERVICE CONNECTIONS INDICATED ARE BASED ON AS-BUILT PLANS AND OBSERVABLE CONDITIONS WHERE AVAILABLE. CONTRACTOR IS TO VERIFY AND COORDINATE (E) SITE CONDITIONS AND FACILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS TO NOTIFY ARCHITECT AND/OR ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
4. IF WORK WILL DISRUPT A PORTION OF THE ADJACENT FACILITY/ PARKING, CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMMUNICATING THE DISRUPTIVE WORK WITH THE OWNER/ OWNER'S STAFF.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FACILITIES DURING CONSTRUCTION. ALL WORK SHALL BE CONFINED TO THE IMMEDIATE AREA SURROUNDING THE CONSTRUCTION SITE. MOBILIZATION/ STAGING/ STORAGE/ PARKING AREAS SHALL BE COORDINATED WITH THE OWNER. CONTRACTOR SHALL RESTORE MOBILIZATION/ STAGING/ STORAGE/ PARKING AREAS TO LIKE NEW CONDITION UPON COMPLETION OF THE PROJECT. SEE SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT THE (E) ALLEY ACCESS & PROPERTY LOCATED NORTH/EAST OF PROJECT SITE FROM DEBRIS/ DAMAGE DURING THE COURSE OF CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE FLAGGING, TEMPORARY FENCING, ETC. REQUIRED FOR A SAFE USE OF THE SITE DURING THE COURSE OF THE PROJECT AND TO ENSURE A SAFE CONDITION FOR PEDESTRIANS. THE CONTRACTOR IS TO PROVIDE ALL SIGNAGE, BARRICADES, FLAGMEN AND TEMPORARY FENCING REQUIRED TO HAVE SAFE TRAVEL TO THE PUBLIC.
8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PERTINENT PHYSICAL STRUCTURES IN THE CONSTRUCTION AREA OF THE SITE AND FOR PROVIDING PROPER PROTECTION OF THESE ITEMS DURING THE CONSTRUCTION PHASE.
9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF MONTANA, CITY OF HELENA, MT AND ANY OTHER APPLICABLE GOVERNMENT AGENCIES FOR THE COMPLETION OF THE WORK PRIOR TO COMMENCING ANY WORK.
10. CONTRACTOR IS RESPONSIBLE FOR ORGANIZING/ COORDINATING ALL NECESSARY ON-SITE INSPECTIONS REQUIRED BY GOVERNMENT PERMITTING AGENCIES FOR ALL TRADES THROUGHOUT CONSTRUCTION.
11. CONTRACTOR IS RESPONSIBLE FOR THE RETURNING ADJACENT CIRCULATION AND YWCA SITE TO A LIKE-NEW CONDITION UPON COMPLETION OF THE PROJECT.
12. CONTRACTOR TO COORDINATE PARKING W/ OWNER AND MINIMIZE PARKING DISRUPTIONS W/ OWNERS DAILY OPERATIONS/ EMPLOYEES/ VISITORS AND CHECK FOR UNDERGROUND SPRINKLERS IN GRASS AREAS.
13. CONTRACTOR TO COORDINATE ANY STREET CLOSURE W/ CITY OF HELENA.

KEYNOTES - ARCHITECTURAL SITE PLAN

- | | |
|----|--|
| 1 | (E) ADA ACCESSIBLE RAMP - MAINTAIN CLEAR ACCESS DURING CONSTRUCTION |
| 2 | (E) FIRE ESCAPE - MAINTAIN CLEAR ACCESS DURING CONSTRUCTION |
| 3 | (E) ACCESS TO OLD BOILER - NO WORK |
| 4 | (E) DUMPSTER LOCATION - NO CONSTRUCTION WASTE IN THIS DUMPSTER |
| 5 | (E) TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION |
| 6 | (E) PLACER STREET ENTRANCE - NO WORK |
| 7 | (E) PARK AVENUE ENTRANCE IS CONSIDERED MAIN ENTRANCE - NO WORK |
| 8 | (E) BRICK COLUMNS WITH (E) WOOD TRIM ACCENTS - (E) WOOD TRIM TO BE REPAIRED, PREPARED AND REPAINTED |
| 9 | (E) BASEMENT SIDE ENTRANCE & CONC. STAIR |
| 10 | (E) ALLEY ENTRANCE TO BE PROTECTED THROUGHOUT CONSTRUCTION. |
| 11 | (E) SIGN - NO WORK |
| 12 | (E) LILACS TO BE PROTECTED THROUGHOUT CONSTRUCTION |
| 13 | (E) BRICK STAIRS |
| 14 | CONSTRUCTION STAGING AREA - NO CONSTRUCTION STAGING PAST THIS AREA |
| 15 | (E) LANDSCAPING TO BE PROTECTED THROUGHOUT CONSTRUCTION OR REPLACED IN KIND |
| 16 | (E) CONC. SIDEWALK - NO WORK |
| 17 | PROPERTY LINE |
| 18 | (E) ALLEY ACCESS MUST REMAIN CLEAR FOR FIRE & NEIGHBOR USE |
| 19 | (E) CONCRETE TOP OF (E) COAL BIN AREA - NO WORK. NO EQUIPMENT PARKING ON TOP OF CONCRETE COAL BIN AREA |
| 20 | (N) AC UNIT - SEE MECH. |
| 21 | NOT USED |
| 22 | (E) ALLEY SURFACE IS SLOPING WITH ASPHALT - PROVIDE REQUIRED LEVELING SUPPORTS FOR (N) A/C EQUIPMENT |
| 23 | (E) WOOD MOULDING AND TONGUE AND GROOVE CEILING ABOVE, TO BE REPAIRED, PREPARED AND REPAINTED |
| 24 | (E) STAIRS TO BASEMENT CONTRACTOR WORK AREA OPTION. PROTECT AND MAINTAIN THROUGHOUT CONSTRUCTION |



PROJECT:
**YWCA OF HELENA EXTERIOR
 RENOVATION & A/C
 UPGRADES**

PROJECT NUMBER:
22-093

PROJECT LOCATION:
**501 N. PARK AVE.
 HELENA, MT 59601**

PREPARED FOR:
YWCA OF HELENA



CONSULTANT:

REVISIONS		
No.	Date	Revision Description

NOT FOR CONSTRUCTION

TEAM:
 DRAWN BY: TJR
 CHECKED BY: BL

TITLE:
ARCHITECTURAL SITE PLAN

DATE:
2023-11-21

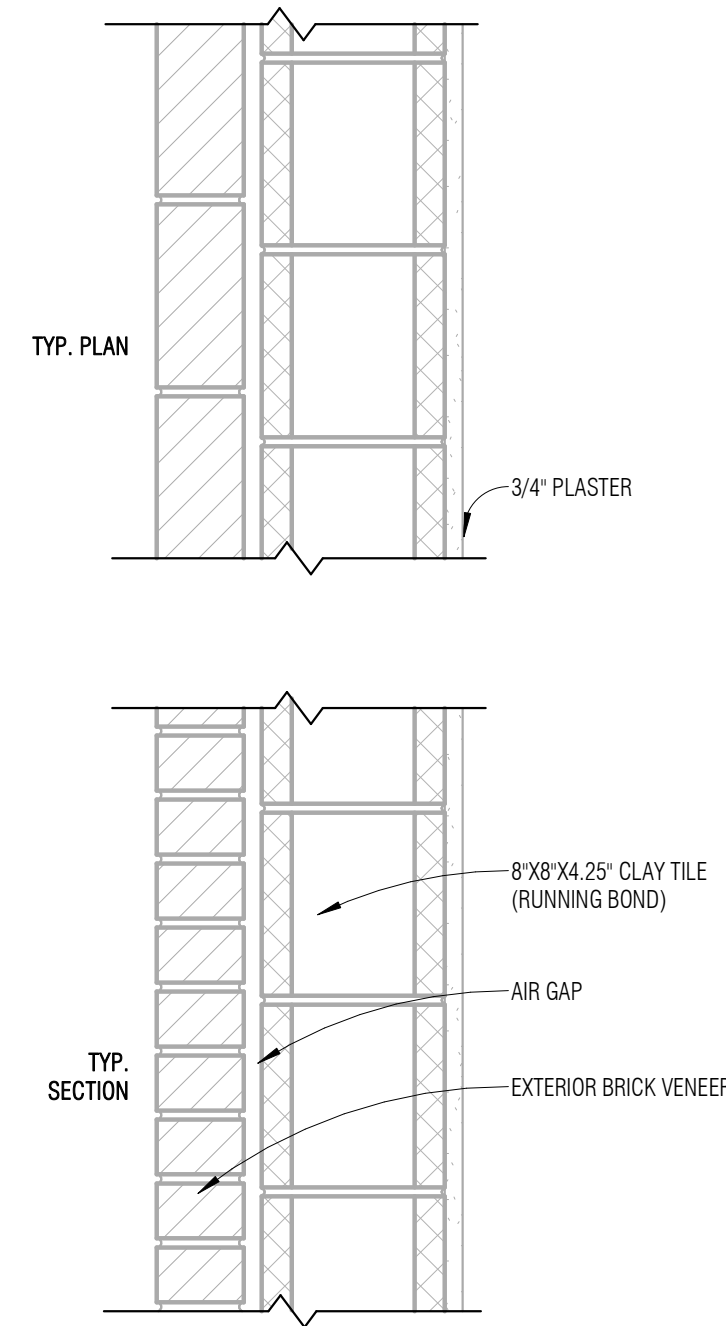
PROJECT NUMBER:
22-093

SHEET NO.:

A0.10

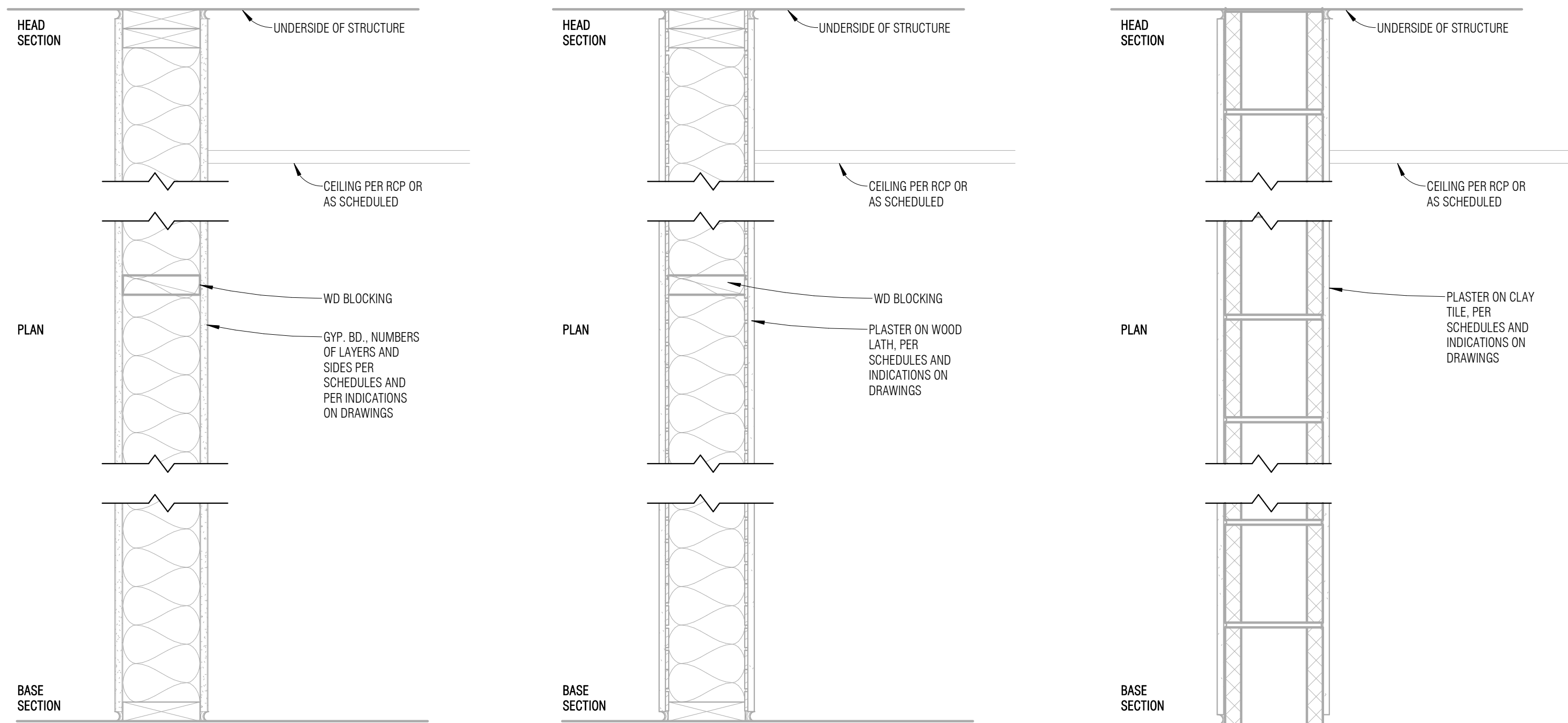
EXISTING EXTERIOR WALL TYPES

ASSEMBLIES SHOWN ARE INFORMATIONAL ONLY. NO NEW WALLS OR FLOORS IN THIS PROJECT.



WALL TYPE eW6M10
EXTERIOR WALL (CLAY TILE AND BRICK)

EXISTING INTERIOR WALL TYPES



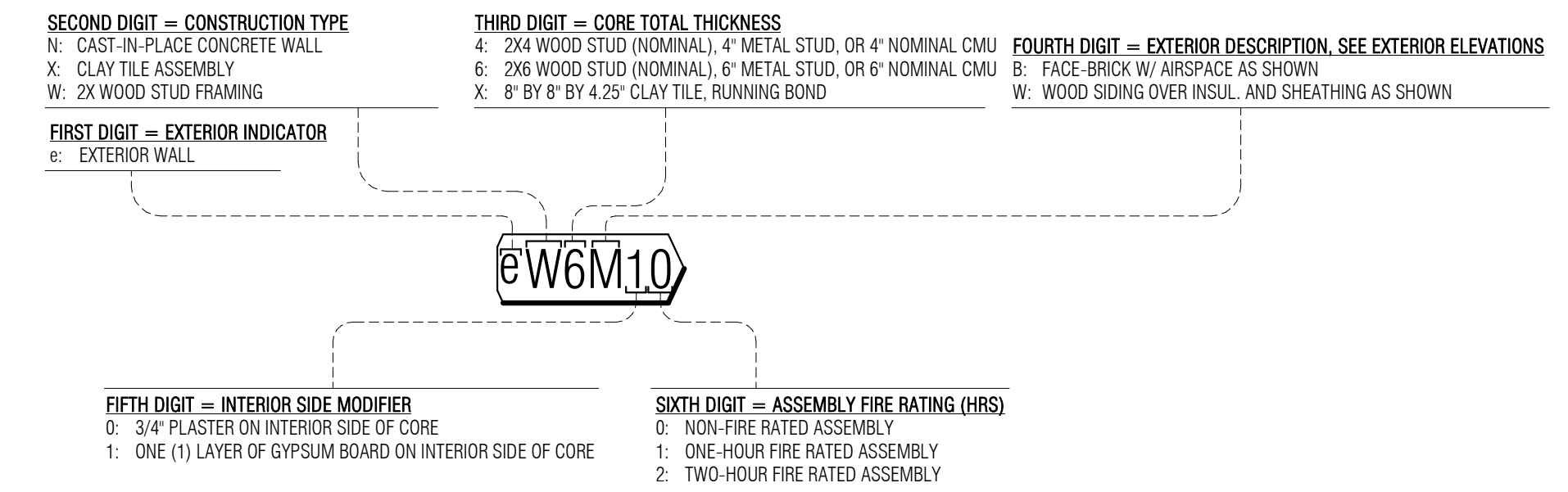
WALL TYPE W (WB02)
EXISTING WOOD STUD PARTITION (2X LUMBER)

WALL TYPE W (WB03)
EXISTING WOOD STUD PARTITION (2X LUMBER)

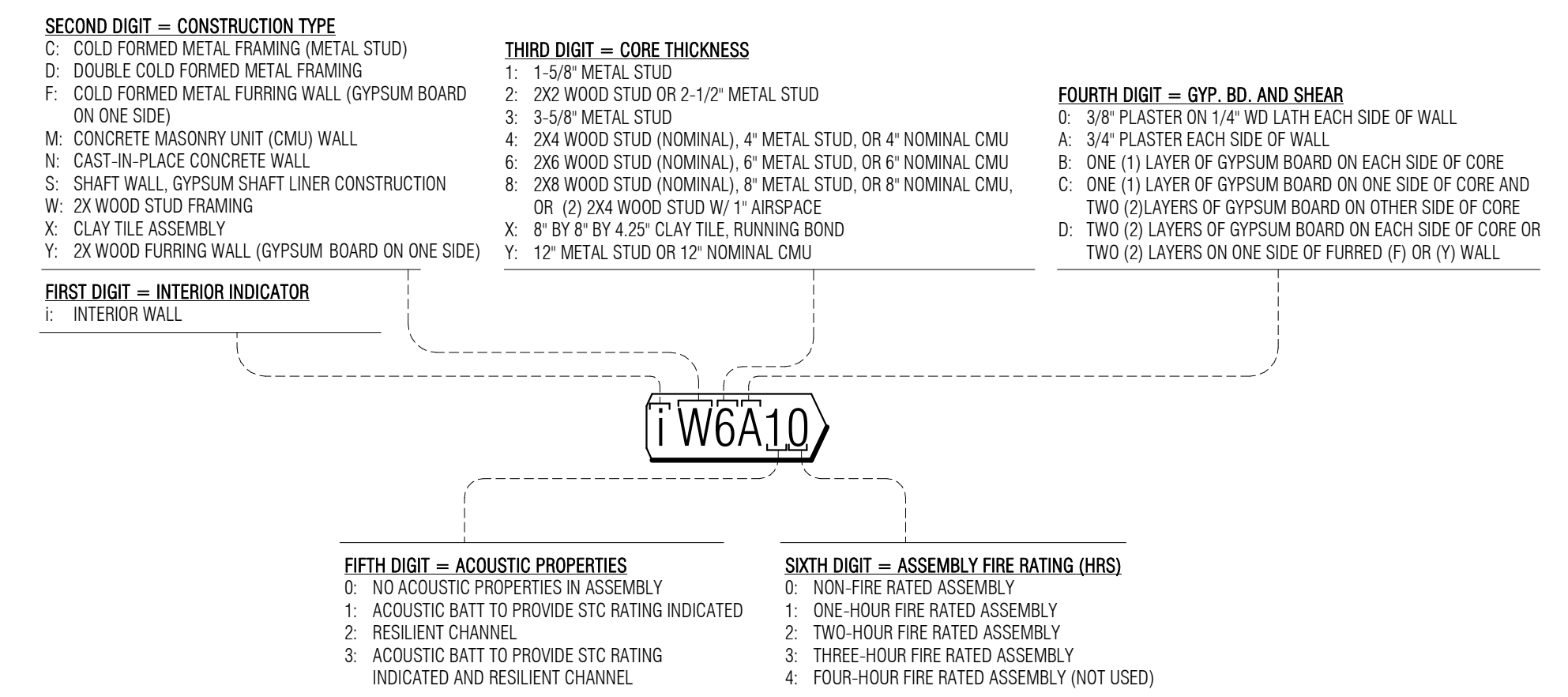
WALL TYPE W (WB01)
EXISTING MASONRY PARTITION (CLAY TILE)

*CONTRACTOR TO VERIFY EXACT WALL TYPE AT A/C INSTALLATION / MOUNTING LOCATION FOR EXISTING CONDITIONS. WALL TYPES VARY THROUGHOUT HISTORIC YWCA BUILDING.
**ALL PENETRATIONS THROUGH WALLS AND HORIZONTAL ASSEMBLIES REQUIRED TO BE FIRE RATED MUST BE FIRECAULKED OR FIRESTOPPED TO PRESERVE THE REQUIRED RATING.
PENETRATIONS MUST BE INSPECTED FOR COMPLIANCE. ASSUME ALL EXISTING WALLS AND FLOOR ASSEMBLIES ARE 1 HOUR FIRE RATED AND REQUIRE FIRE CAULKING FOR ANY NEW PIPING PENETRATIONS FOR A/C PIPING.
***PROVIDE BLOCK AS REQUIRED FOR (N) A/C MECHANICAL UNITS.

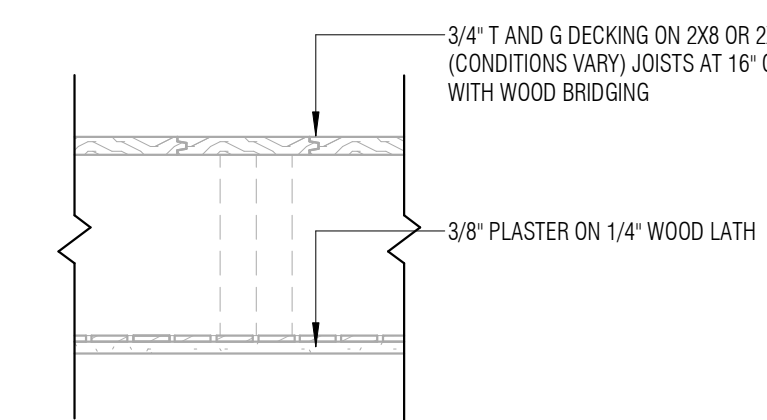
EXTERIOR WALL TAG LEGEND



INTERIOR WALL TAG LEGEND



EXISTING FLOOR/CEILING ASSEMBLY



FA-1 FLOOR ASSEMBLY FA-1 (1-HOUR RATED)
*EXISTING FLOOR STRUCTURE THROUGHOUT OTHER THAN BASEMENT FLOOR

PROJECT: **YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES**

PROJECT NUMBER: **22-093**

PROJECT LOCATION: **501 N. PARK AVE. HELENA, MT 59601**

PREPARED FOR: **YWCA OF HELENA**



CONSULTANT:

REVISIONS:

No.	Date	Revision Description
-----	------	----------------------

NOT FOR CONSTRUCTION

TEAM:
DRAWN BY: RL
CHECKED BY: BL, MD

TITLE:

WALL/ROOF/FLOOR ASSEMBLIES

PERMIT SET

DATE: 2023-11-21

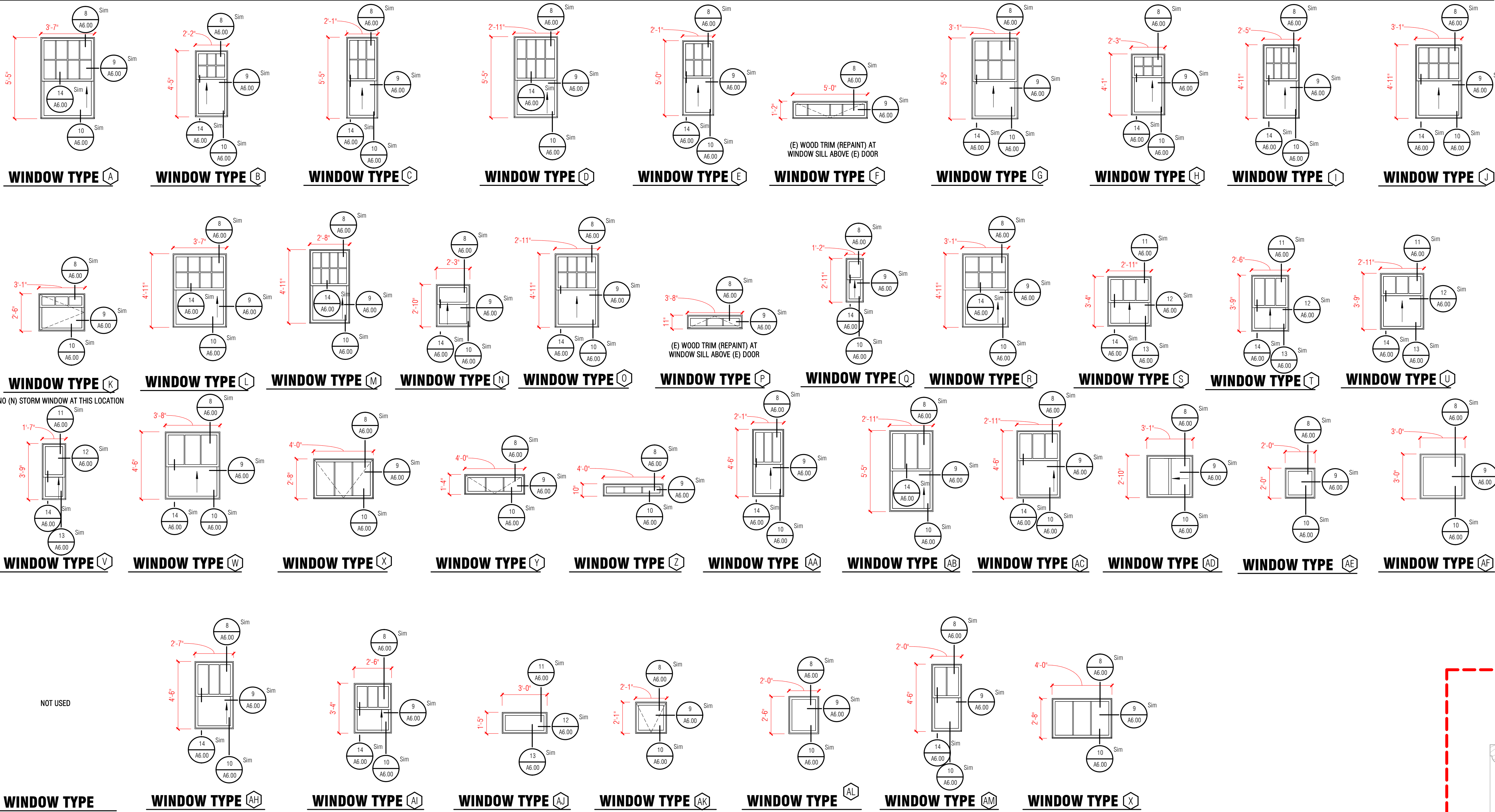
PROJECT NUMBER: 22-093

SHEET NO.:

A1.00

EXISTING EXTERIOR WINDOW TYPES

EXISTING WINDOW TYPES ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING OF NEW STORM WINDOWS

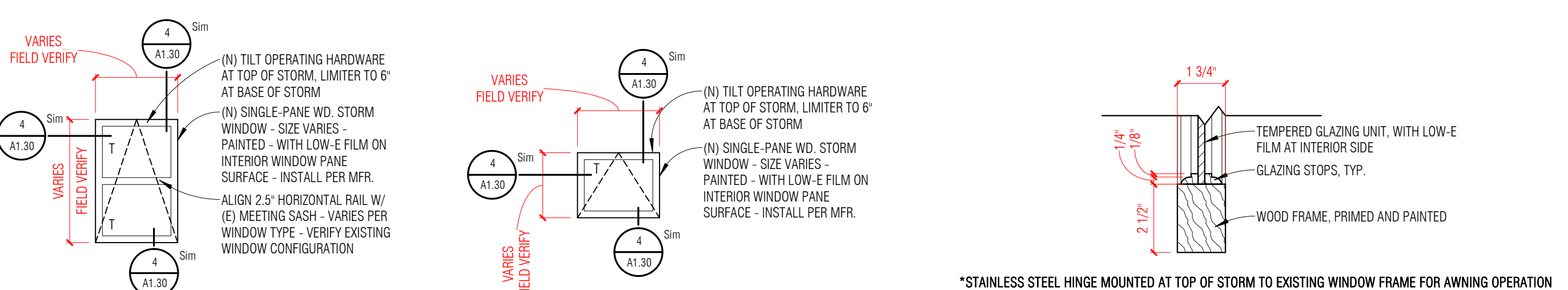


WINDOW SCHEDULE							
TYPE	WIDTH	HEIGHT	AREA	COUNT	OPERATION	CONSTRUCTION	STORM WINDOW TYPE
A	3'-7"	5'-5"	19 SF	20	SINGLE HUNG	WOOD	1
AA	2'-1"	4'-6"	9 SF	2	SINGLE HUNG	WOOD	1
AB	2'-11"	5'-5"	16 SF	1	SINGLE HUNG	WOOD	1
AC	2'-11"	4'-6"	13 SF	1	SINGLE HUNG	WOOD	1
AD	3'-1"	2'-10"	9 SF	1	SLIDER	WOOD	2
AE	2'-0"	2'-0"	4 SF	1	FIXED	WOOD	2
AF	3'-0"	3'-0"	9 SF	1	FIXED	WOOD	2
AH	2'-7"	4'-6"	12 SF	1	SINGLE HUNG	WOOD	1
AI	2'-6"	3'-4"	8 SF	1	SINGLE HUNG	WOOD	1
AJ	3'-0"	1'-5"	4 SF	1	SINGLE HUNG	WOOD	2
AK	2'-1"	2'-1"	4 SF	2	HOPPER	WOOD	2
B	2'-2"	4'-5"	10 SF	2	SINGLE HUNG	WOOD	1
C	2'-1"	5'-5"	11 SF	2	SINGLE HUNG	WOOD	1
D	2'-11"	5'-5"	16 SF	1	SINGLE HUNG	WOOD	1
E	2'-1"	5'-0"	10 SF	1	SINGLE HUNG	WOOD	1
F	5'-0"	1'-2"	6 SF	3	TRANSOM	WOOD	2
G	3'-1"	5'-5"	17 SF	2	SINGLE HUNG	WOOD	1
H	2'-3"	4'-1"	9 SF	1	SINGLE HUNG	WOOD	1
I	2'-5"	4'-11"	12 SF	1	SINGLE HUNG	WOOD	1
J	3'-1"	4'-11"	15 SF	1	SINGLE HUNG	WOOD	1
K	3'-1"	2'-6"	8 SF	2	SWING OUT	VINYL	NONE
L	3'-7"	4'-11"	18 SF	14	SINGLE HUNG	WOOD	1
M	2'-8"	4'-11"	13 SF	7	SINGLE HUNG	WOOD	1
N	2'-3"	2'-10"	6 SF	4	SINGLE HUNG	WOOD	1
O	2'-11"	4'-11"	14 SF	4	SINGLE HUNG	WOOD	1
P	3'-8"	1'-1"	3 SF	2	TRANSOM	WOOD	2
Q	1'-2"	2'-11"	3 SF	1	SINGLE HUNG	WOOD	1
R	3'-1"	4'-11"	15 SF	2	SINGLE HUNG	WOOD	1
S	2'-11"	3'-4"	10 SF	8	SINGLE HUNG	VINYL	1
T	2'-6"	3'-9"	9 SF	9	SINGLE HUNG	WOOD	1
U	2'-11"	3'-9"	11 SF	6	SINGLE HUNG	WOOD	1
V	1'-7"	3'-9"	6 SF	2	SINGLE HUNG	WOOD	1
W	3'-8"	4'-6"	17 SF	7	SINGLE HUNG	WOOD	1
X	4'-0"	2'-8"	11 SF	5	HOPPER	WOOD	2
Y	4'-0"	1'-4"	5 SF	2	HOPPER	WOOD	2
Z	4'-0"	1'-0"	3 SF	1	FIXED	WOOD	2

WINDOW REFURBISHMENT GENERAL NOTES

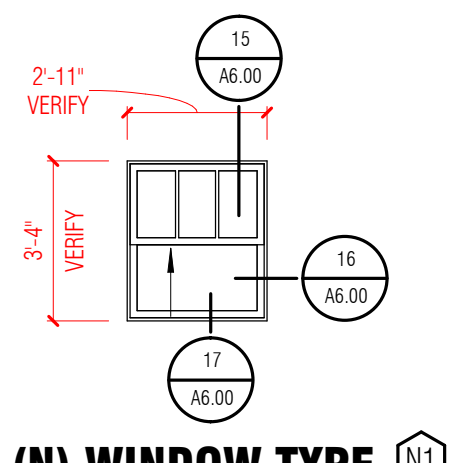
- CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS OF EACH WINDOW PRIOR TO COMMENCING WORK AND ORDERING STORM WINDOWS AND REPLACEMENT GLAZING.
- CONTRACTOR TO RESTORE OPERABILITY TO ALL EXISTING OPERABLE SASHES REGARDLESS OF OPERABILITY TYPE - SINGLE HUNG, AWNING, HOPPER, SLIDER, ETC. AND SHALL VERIFY THE OPERABILITY OF EACH WINDOW PRIOR TO COMMENCING WORK. ANY REPLACED ITEMS SHALL MATCH DIMENSIONS AND APPEARANCE OF ORIGINAL WINDOW COMPONENTS.
- NEW SCREENS ARE TO BE PROVIDED THAT EXTEND FROM SILL TO BOTTOM OF UPPER SASH.
- LEAD BASED PAINT IS PRESENT IN THE WORK ON THE WINDOWS AND ADJACENT HEAD, JAMB, SILL, INTERIOR, AND EXTERIOR TRIM CONDITIONS. CONTRACTOR TO FOLLOW ALL APPLICABLE GUIDELINES AND REQUIREMENTS FOR WORKING WITH LEAD BASED PAINT, INCLUDING ENSURING THE SAFETY OF BUILDING USERS, DURING THE COURSE OF CONSTRUCTION.
- SEE FLOOR PLAN SHEET WINDOWS ASSESSMENT SCHEDULES FOR REQUIRED WORK FOR EACH WINDOW.
- CONTRACTOR TO REPORT ANY DISCOVERED DISCREPANCIES IN WINDOW CONDITION OR REQUIRED WORK TO ARCHITECT IMMEDIATELY.
- FOR BIDDING PURPOSES, ASSUME REPLACEMENT OF TEN (10) WOOD SILLS AT EXISTING WINDOWS FOR THE BASE BID.
- BASE BID SHALL INCLUDE PATCHING AND REPAIRING DAMAGED WOOD WINDOW COMPONENTS AT THE EXTERIOR RELATING TO THE REMOVAL OF THE EXISTING ALUMINUM STORM WINDOWS (SPLITS, SCREW HOLES, ETC.) WITH EPOXY WOOD REPAIR PRODUCT.
- BASE BID SHALL INCLUDE REPAINTING ALL ADJACENT WINDOW HEAD, JAMB, SILL, AFFECTED TRIM COMPONENTS, AND WINDOW SASHES, AT ALL INTERIOR AND EXTERIOR SURFACES.

NEW STORM WINDOW TYPES



NEW WOOD STORM WINDOW - TYPE 1 **NEW WOOD STORM WINDOW - TYPE 2** **(N) STORM WINDOW HEAD / JAMB / SILL DETAIL**

NEW EXTERIOR WINDOW TYPE

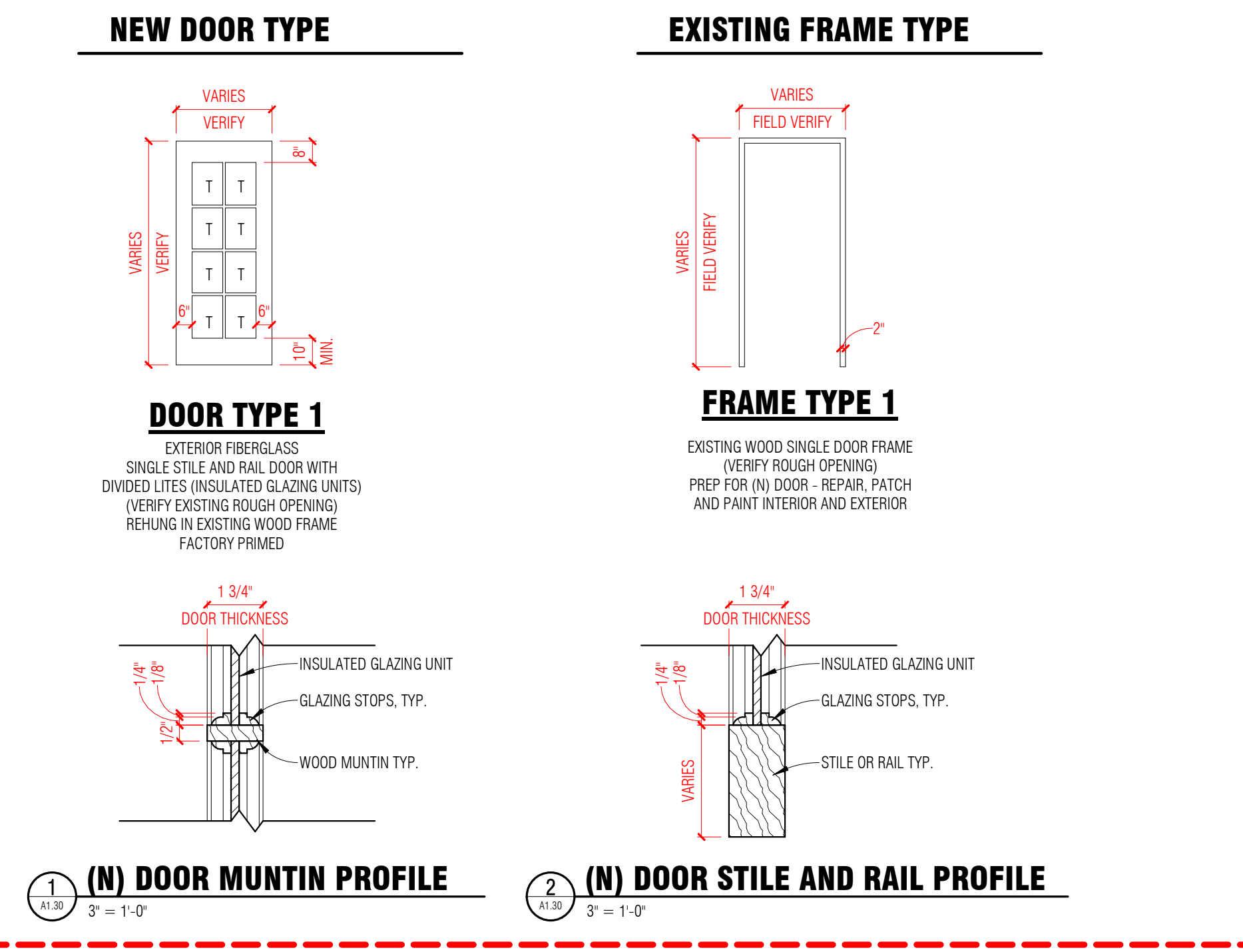


(N) WINDOW TYPE N1
SINGLE HUNG WOOD WINDOW, SIZE TO FIT (E) OPENING, WITH PAINTED FINISHES. NEW WINDOWS TO ALSO RECEIVE (N) STORM WINDOWS. (N) WINDOW TO MATCH (E) WINDOW PRECEDENT WITH TRUE DIVIDED LITES ON TOP SASH

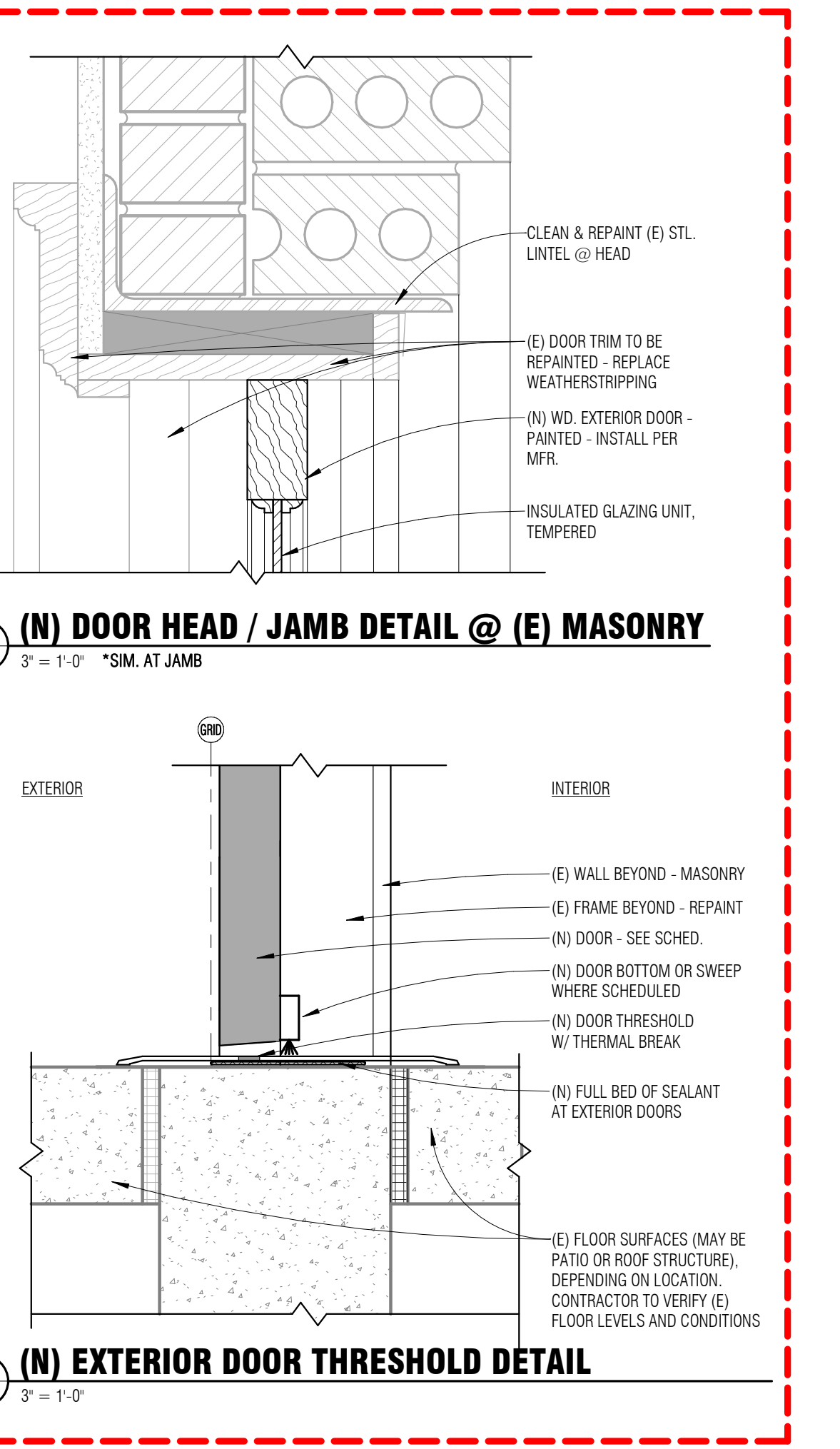
SHEET NOTES - DOOR/FRAME/WINDOW TYPES

- T - TEMPERED GLAZING
- FULLY TEMPERED SAFETY GLAZING REQUIRED IN ALL NEW DOORS
- FULLY TEMPERED SAFETY GLAZING REQUIRED AT ALL NEW WINDOWS WITHIN 24" OF EITHER VERTICAL EDGE OF ALL DOORS, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING WINDOW DIMENSIONS PRIOR TO ORDERING NEW STORM WINDOWS.
- PROVIDE (N) SCREENS IN ALL OPERABLE WINDOWS (EXISTING AND NEW) FOR VENTILATION. SCREENS ARE TO EXTEND FROM TOP OF SILL TO BOTTOM OF UPPER SASH AT SINGLE HUNG CONDITIONS.
- (N) OPERABLE STORM WINDOWS TO BE AWNING TYPE ONLY AT (E) OPERABLE WINDOWS THAT ARE SINGLE HUNG OR SLIDING.
- AT FIXED (E) WINDOWS, (N) STORM WINDOWS ARE TO BE FIXED TYPE.
- AT (E) HOPPER TYPE WINDOWS, STORM WINDOWS TO BE FIXED TYPE.

ALTERNATE 02



(N) DOOR MUNTIN PROFILE **(N) DOOR STILE AND RAIL PROFILE**



(N) DOOR HEAD / JAMB DETAIL @ (E) MASONRY

(N) EXTERIOR DOOR THRESHOLD DETAIL



HELENA P. 406-442-4933
BOZEMAN P. 406-219-2216
www.sma.design

PROJECT: **YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES**
PROJECT NUMBER: **22-093**

PROJECT LOCATION: **501 N. PARK AVE. HELENA, MT 59601**
PREPARED FOR: **YWCA OF HELENA**

eliminating racism
empowering women
ywca

REVISIONS:

No.	Date	Revision Description

NOT FOR CONSTRUCTION

WINDOW TYPES, DOOR TYPES

PERMIT SET
DATE: **2023-11-21**
PROJECT NUMBER: **22-093**

A1.30

No.	Date	Revision Description

NOT FOR CONSTRUCTION

TEAM:
DRAWN BY: TJR
CHECKED BY: BL

TITLE:

FLOOR PLANS

DATE: 2023-11-21
PROJECT NUMBER: 22-093

PERMIT SET
DATE: 2023-11-21
PROJECT NUMBER: 22-093

SHEET NO.:

A2.00

WINDOWS - SCHEDULED WORK KEY

- REMOVE LOOSE, CHIPPING, DAMAGED PAINT AT INTERIOR AND EXTERIOR INCLUDING EXTERIOR TRIM. REPAINT ALL SURFACES.
- REPLACE BROKEN GLAZING (MATCH EXISTING THICKNESS AND TYPE)
- REPAIR DAMAGED/MISSING WINDOW PUTTY.
- REMOVE, MODIFY, AND REINSTALL (E) LOWER OPERABLE SASH AS REQUIRED TO INSTALL (N) SEALS AND RESTORE OPERABILITY.
- REPAIR / REPLACE (E) ROPE SYSTEM @ (E) LOWER OPERABLE SASH TO RESTORE FULL OPERABILITY.
- REMOVE (E) ALUMINUM STORM WINDOW, TRIM, AND ALL FASTENERS/ANCHORS
- INSPECT AND REPLACE (E) WD. SILL AS REQ. - FIELD VERIFY
- INSTALL (N) PAINTED WOOD STORM WINDOW W/ LOW-E FILM PER MFR.
- REPAIR/REPLACE (E) WINDOW HARDWARE @ MEETING STILES AS REQ.
- STRIP PAINT FROM (E) WINDOW HARDWARE AND RESTORE OPERABILITY

BASEMENT WINDOW ASSESSMENT

MARK	TYPE	SCHEDULED WORK
W004A	Z	1,8
W004B	Y	1,8,10
W004C	Y	1,8,10
W005A	S	1,4,6,8
W005B	S	1,4,6,8
W012A	AF	1,8
W013A	AM	1,8,10
W013B	AK	1,8,10
W013C	AM	1,8,10
W014A	AE	1,8
W016A	AD	1,8
W016B	AC	1,2,4,6,8,10
W016C	AB	1,2,4,6,8,10
W017A	AA	1,4,6,8,10
W019A	AH	1,4,6,8,10
W021A	W	1,4,5,6,8,10
W021B	W	1,4,5,6,8,10
W022A	W	1,4,6,8,10
W022B	W	1,2,4,6,8,10
W022C	W	1,2,4,6,8,10
W023A	W	1,4,6,8,10
W023B	W	1,2,4,5,6,8,10

KEYNOTES - FLOOR PLAN

- REMOVE & REINSTALL (E) ROLLER SHADE IF NECESSARY FOR WINDOW REPAIR
- (N) MECHANICAL UNIT - SEE MECH.
- (E) FIRE ESCAPE
- (E) MECHANICAL UNIT FOR KITCHEN - SEE MECH.
- (E) FIRE ESCAPE WINDOW ACCESS - DO NOT PROVIDE (N) STORM WINDOW
- (E) STEAM RADIATOR - PROTECT THROUGHOUT CONSTRUCTION
- CONTRACTOR STAGING AREA WITH WEST ENTRY DOOR ACCESS. RESTROOM DOES NOT FUNCTION. CONTRACTOR TO PROVIDE OWN RESTROOM FACILITIES.
- OWNER REQUIRES SCHEDULE COORDINATION WITH CONTRACTOR AHEAD OF WORK COMMENCING IN THIS SPACE
- (E) BRICK COLUMNS WITH (E) WOOD TRIM ACCENTS COLUMN SIDES - (E) WOOD TRIM TO BE REPAIRED, PREPPED AND REPAINTED
- CONTRACTOR TO PROVIDE (N) SCREENS, WINDOW WIDTH VARIES, STANDARD HEIGHT OF 2' IS REQUIRED. FIELD VERIFY WIDTHS
- DEMO (E) VINYL WINDOWS, PREP BRICK OPENING FOR (N) WOOD WINDOW. VERIFY EXISTING ROUGH OPENING
- (E) RESTROOM IS NOT OPERATIONAL

SHEET NOTES - FINISHES

- ALL NEW INTERIOR PAINTING FOR ALL WINDOW TRIM TO BE SEMI-GLOSS FINISH. ALL PATCH AND REPAIR PAINTING TO MATCH EXISTING PAINT SHEEN, CONTRACTOR TO FIELD VERIFY AT EACH CONDITION.

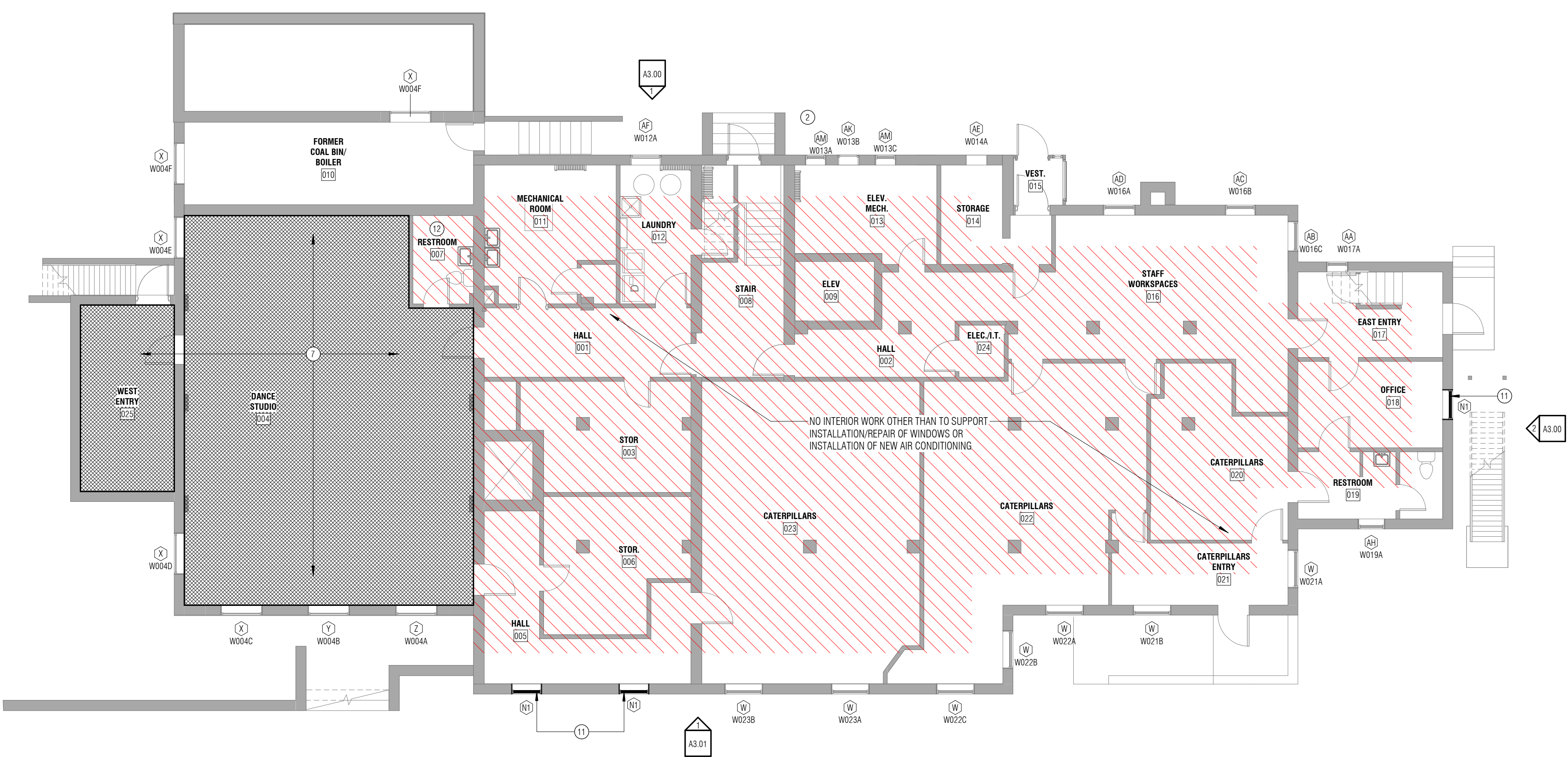
FIRST FLOOR WINDOW ASSESSMENT

MARK	TYPE	SCHEDULED WORK
W100A	A	1,4,6,8,10
W100B	A	1,4,5,6,8,10
W100C	F	1,8
W100D	F	1,8
W100E	F	1,8
W102A	A	1,2,4,5,6,8,10
W102B	A	1,2,4,6,8,10
W102C	A	1,2,4,5,6,8,10
W102D	A	1,2,4,6,8,10
W102E	A	1,2,4,5,6,8,10
W102F	G	1,4,6,8,10
W104A	A	1,4,5,6,8,10
W104B	A	1,4,6,8,10
W105A	D	1,2,4,6,8,10
W105B	E	1,2,4,6,8,10
W106A	C	1,4,6,8,10
W106B	A	1,4,5,6,8,10
W107A	A	1,4,6,8,10
W108A	N	1,4,6,8,10
W108B	N	1,4,6,8,10
W110A	A	1,2,4,6,8,10
W110B	C	1,2,4,5,6,8,10
W111A	A	1,4,5,6,8,10
W114A	B	1,2,4,6,8,10
W114B	B	1,4,5,6,8,10
W115A	A	1,2,4,6,8,10
W115B	A	1,4,5,6,8,10
W115C	A	1,4,5,6,8,10
W115D	A	1,4,5,6,8,10
W115E	A	1,4,6,8,10
W115F	A	1,4,6,8,10
W116A	AA	1,4,6,8,10
W117A	H	1,4,5,6,8,10
W118A	G	1,2,4,5,6,8,10
W118B	A	1,4,5,6,8,10

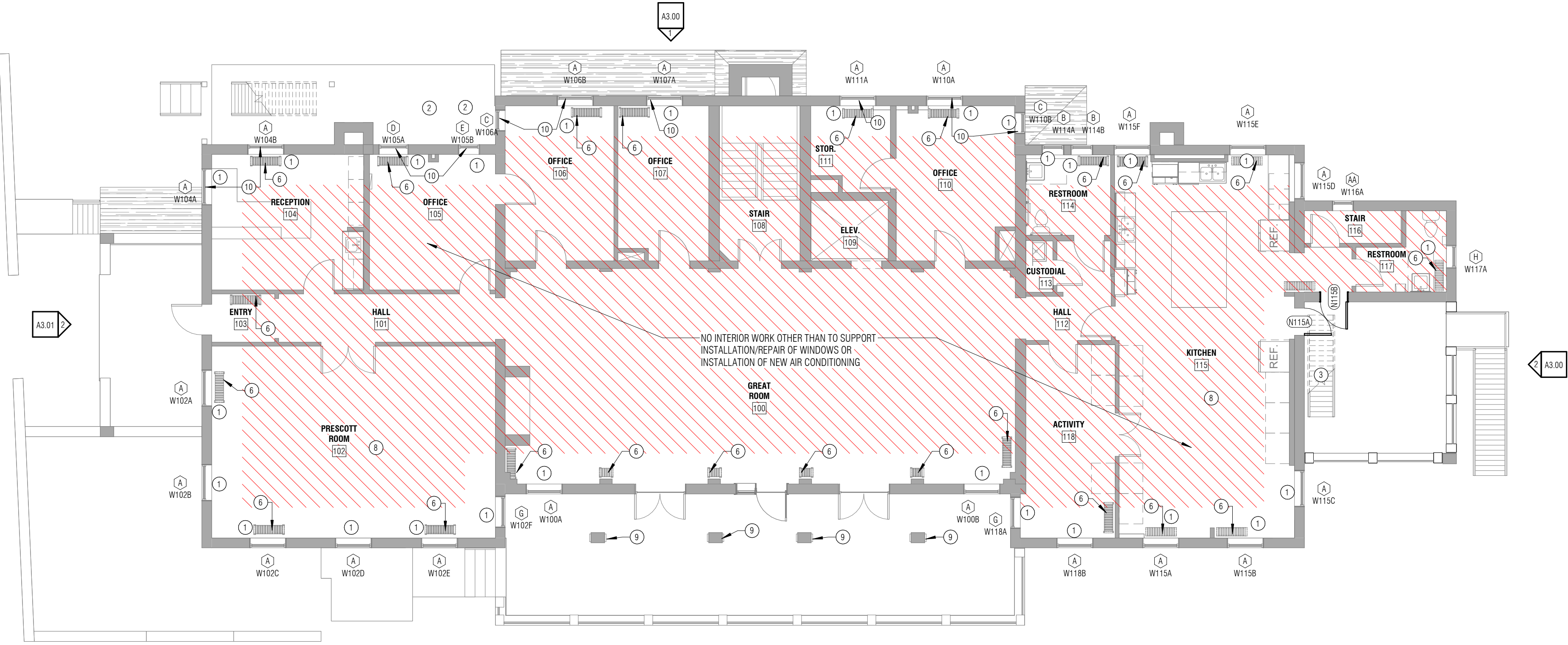
ALTERNATE 02

DOOR SCHEDULE - FIRST FLOOR

DOOR #	WIDTH X HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	COMMENTS
N115A	2'-8" X 7'-0"	1	1	N/A	1 - SEE SPEC.	3/A1.30	3/A1.30	5/A1.30	
N115B	2'-8" X 7'-0"	1	1	N/A	1 - SEE SPEC.	3/A1.30	3/A1.30	5/A1.30	



1 BASEMENT RENOVATION PLAN
1/8" = 1'-0"



2 FIRST FLOOR RENOVATION PLAN
1/8" = 1'-0"

SECOND FLOOR WINDOW ASSESSMENT

MARK	TYPE	SCHEDULED WORK
W200A	P	1,8
W200B	P	1,8
W201A	M	1,2,4,6,8,10
W201B	M	1,4,6,8,10
W202A	L	1,2,4,5,6,8,10
W203A	R	1,4,6,8,10
W203B	L	1,2,4,6,8,10
W204A	L	1,2,4,5,6,8,10
W205A	L	1,2,4,5,6,8,10
W205B	L	1,2,4,6,8,10
W205C	O	1,4,6,8,10
W206A	L	1,4,5,6,8,10
W206B	L	1
W207A	K	1
W207B	J	1,4,5,6,8,10
W207C	J	1,4,5,6,8,10
W208A	N	1,4,6,8,10
W208B	N	1,4,6,8,10
W210A	Q	1,4,6,8
W210B	M	1,2,4,6,8,10
W211A	L	1,2,4,6,8,10
W212A	L	1,2,4,5,6,8,10
W212B	M	1,4,6,8,10
W212C	O	1,4,6,8,10
W213A	O	1,4,6,8,10
W213B	O	1,4,6,8,10
W214A	O	1,2,4,6,8,10
W214B	L	1,2,4,5,6,8,10
W215A	M	1,2,4,6,8,10
W215B	L	1,2,4,5,6,8,10
W215C	L	1,2,4,5,6,8,10
W216A	L	1,2,4,6,8,10
W217A	L	1,4,5,6,8,10
W217B	R	1,2,4,5,6,8,10
W218A	L	1,2,4,5,6,8,10
W219A	M	1,4,6,8,10
W219B	M	1,2,4,5,6,8,10

WINDOWS - SCHEDULED WORK KEY

- REMOVE LOOSE, CHIPPING, DAMAGED PAINT AT INTERIOR AND EXTERIOR INCLUDING EXTERIOR TRIM. REPAINT ALL SURFACES.
- REPLACE BROKEN GLAZING (MATCH EXISTING THICKNESS AND TYPE)
- REPAIR DAMAGED/MISSING WINDOW PUTTY.
- REMOVE, MODIFY, AND REINSTALL (E) LOWER OPERABLE SASH AS REQUIRED TO INSTALL (N) SEALS AND RESTORE OPERABILITY.
- REPAIR / REPLACE (E) ROPE SYSTEM @ (E) LOWER OPERABLE SASH TO RESTORE FULL OPERABILITY.
- REMOVE (E) ALUMINUM STORM WINDOW, TRIM, AND ALL FASTENERS/ANCHORS
- INSPECT AND REPLACE (E) WD. SILL AS REQ. - FIELD VERIFY
- INSTALL (N) PAINTED WOOD STORM WINDOW W/ LOW-E FILM PER MFR.
- REPAIR/REPLACE (E) WINDOW HARDWARE @ MEETING STILES AS REQ.
- STRIP PAINT FROM (E) WINDOW HARDWARE AND RESTORE OPERABILITY

THIRD FLOOR WINDOW ASSESSMENT

MARK	TYPE	SCHEDULED WORK
W301A	U	1,4,5,6,7,8,10
W301B	U	1,4,6,7,8,10
W302A	U	1,4,5,6,7,8,10
W303A	S	1,4,6,7,8,10
W304A	S	1,4,5,6,7,8,10
W304B	T	1,4,5,6,7,8,10
W305A	T	1,4,6,7,8,10
W305B	T	1,4,5,6,7,8,10
W306A	K	1
W307A	S	1,4,5,6,7,8,10
W308A	AJ	1,8
W310A	V	1,4,5,6,7,8,10
W310B	T	1,4,5,6,7,8,10
W310C	T	1,4,5,6,7,8,10
W312A	T	1,8
W312B	T	1,4,5,6,7,8,10
W312C	V	1,4,5,6,7,8,10
W313A	AI	1,4,5,6,7,8,10
W314A	S	1,4,5,6,7,8,10
W314B	T	1,4,6,7,8,10
W315A	S	1,4,6,7,8,10
W315B	T	1,4,5,6,7,8,10
W316A	S	1,4,6,7,8,10
W317A	U	1,4,6,7,8,10
W318A	U	1,4,6,7,8,10
W318B	U	1,4,6,7,8,10

KEYNOTES - FLOOR PLAN

- REMOVE & REINSTALL (E) ROLLER SHADE IF NECESSARY FOR WINDOW REPAIR
- (N) MECHANICAL UNIT - SEE MECH.
- (E) FIRE ESCAPE
- (E) MECHANICAL UNIT FOR KITCHEN - SEE MECH.
- (E) FIRE ESCAPE WINDOW ACCESS - DO NOT PROVIDE (N) STORM WINDOW
- (E) STEAM RADIATOR - PROTECT THROUGHOUT CONSTRUCTION
- CONTRACTOR STAGING AREA WITH WEST ENTRY DOOR ACCESS. RESTROOM DOES NOT FUNCTION, CONTRACTOR TO PROVIDE OWN RESTROOM FACILITIES.
- OWNER REQUIRES SCHEDULE COORDINATION WITH CONTRACTOR AHEAD OF WORK COMMENCING IN THIS SPACE
- (E) BRICK COLUMNS WITH (E) WOOD TRIM ACCENTS COLUMN SIDES - (E) WOOD TRIM TO BE REPAIRED, PREPARED AND REPAINTED
- CONTRACTOR TO PROVIDE (N) SCREENS, WINDOW WIDTH VARIES, STANDARD HEIGHT OF 2 (S) REQUIRED, FIELD VERIFY WIDTHS
- DEMO (E) VINYL WINDOWS, PREP BRICK OPENING FOR (N) WOOD WINDOW. VERIFY EXISTING ROUGH OPENING.
- (E) RESTROOM IS NOT OPERATIONAL

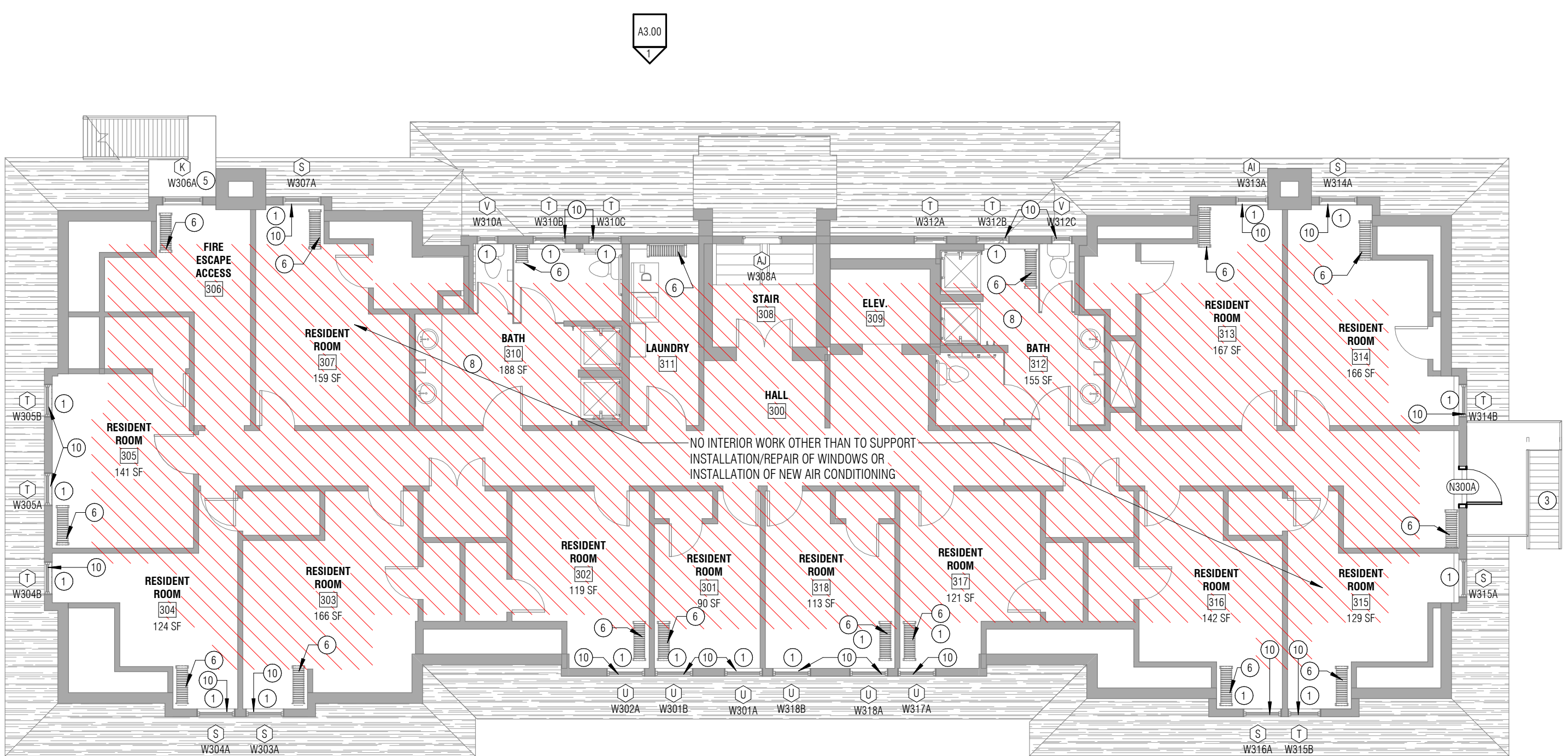
ALTERNATE 02

DOOR SCHEDULE - SECOND & THIRD FLOORS

DOOR #	WIDTH X HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE GROUP	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	COMMENTS
N200A	2'-8"X7'-0"	1	1	N/A	1 - SEE SPEC.	3/A1.30	3/A1.30	5/A1.30	
N300A	2'-8"X7'-0"	1	1	N/A	1 - SEE SPEC.	3/A1.30	3/A1.30	5/A1.30	



1 SECOND FLOOR RENOVATION PLAN
 1/8" = 1'-0"



2 THIRD FLOOR RENOVATION PLAN
 1/8" = 1'-0"

ARCHITECT SEAL:

PROJECT:
YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES

PROJECT NUMBER:
22-093

PROJECT LOCATION:
501 N. PARK AVE. HELENA, MT 59601

PREPARED FOR:
YWCA OF HELENA

LOGO:



CONSULTANT:

REMAP:

REVISIONS:

No.	Date	Revision Description
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NOT FOR CONSTRUCTION

TEAM:
 DRAWN BY: TJR
 CHECKED BY: BL

TITLE:

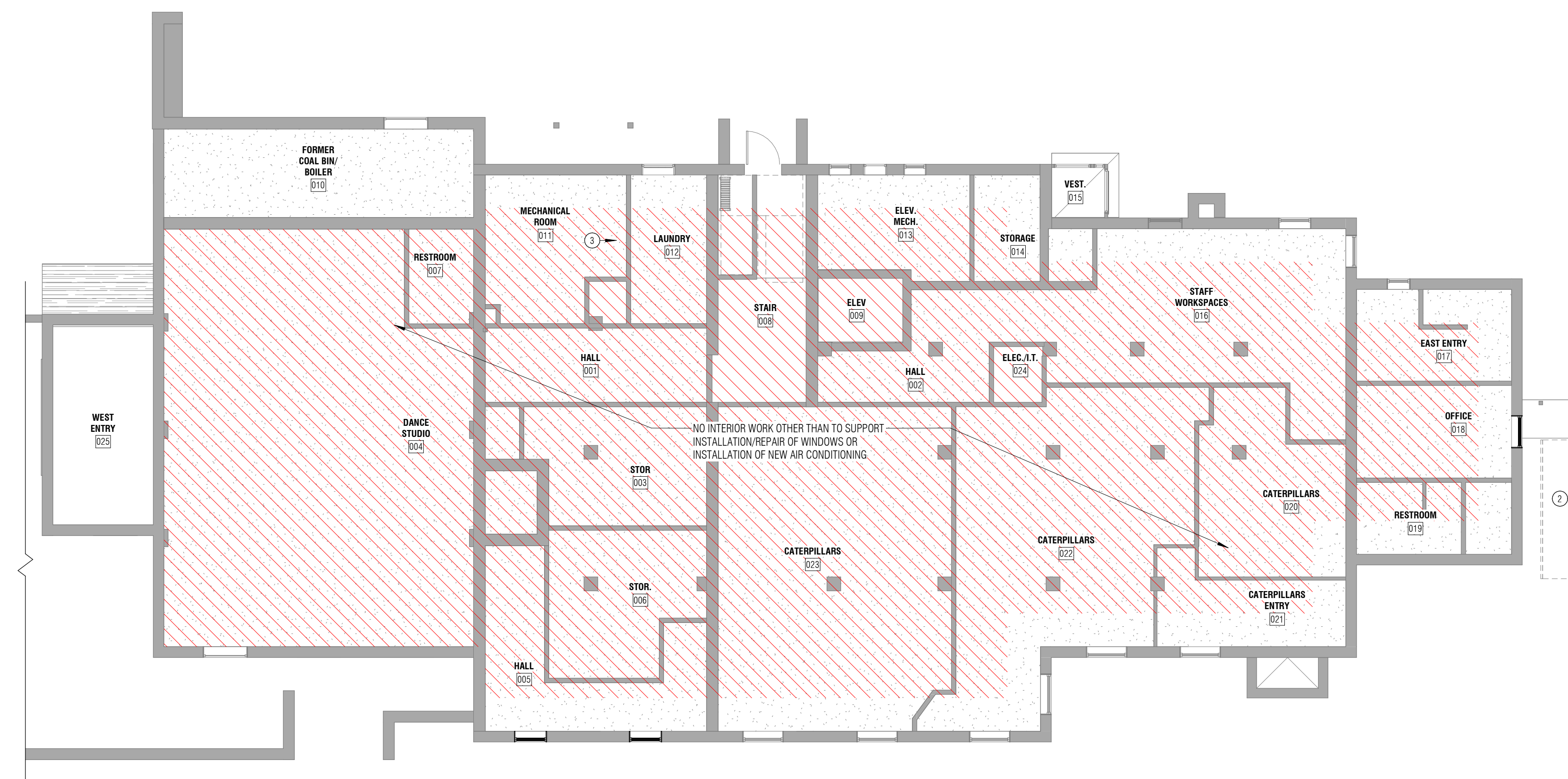
FLOOR PLANS

PHASE:

PERMIT SET
 DATE: 2023-11-21
 PROJECT NUMBER: 22-093

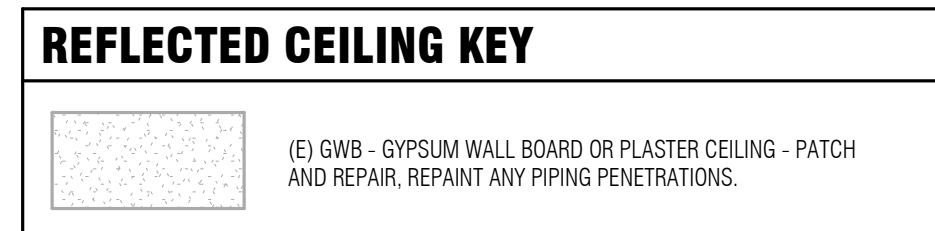
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A2.01



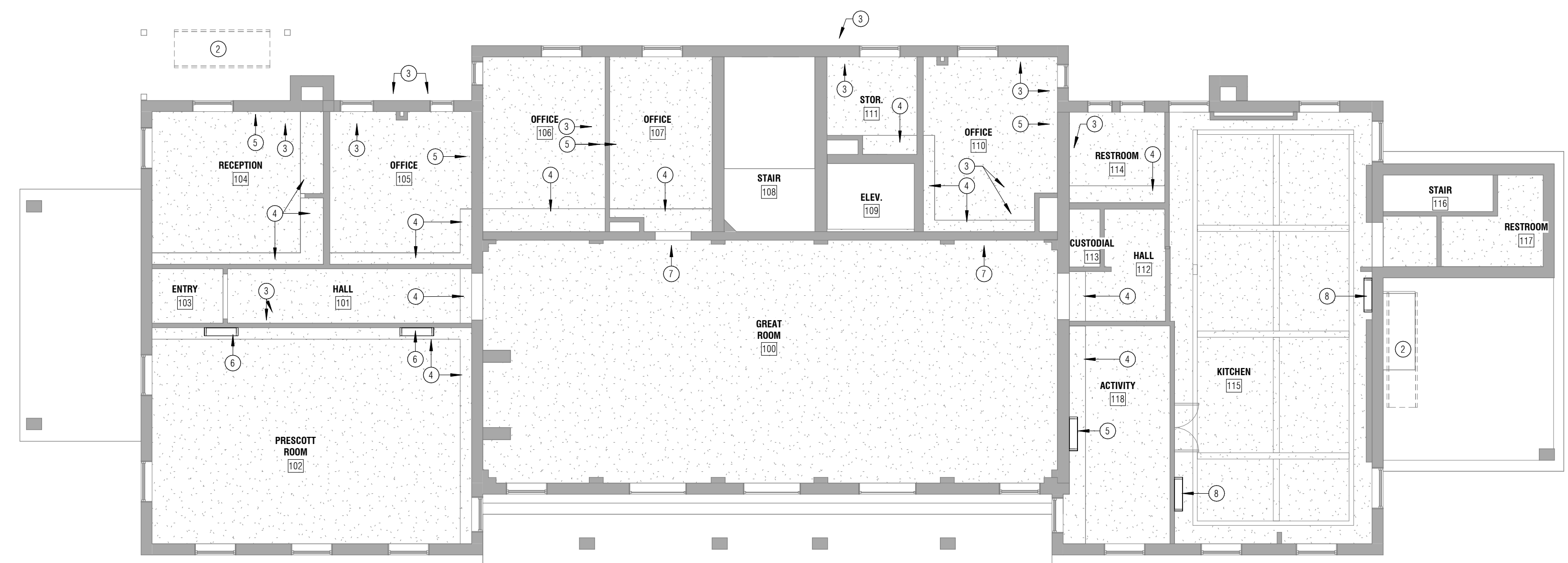
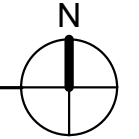
- SHEET NOTES - REFLECTED CEILING PLAN**
- SEE FLOOR PLANS FOR WALL TYPES.
 - CEILING SPACES MAY BE LIMITED. SOME SOFFITS MAY REQ. MIN. CLEAR INSIDE DIMENSIONS AND MUST BE COORDINATED WITH MECH. PRIOR TO INSTALLATION. ALL PARTIES MUST COORDINATE THE INSTALLATION OF THEIR WORK PRIOR TO INSTALLATION TO AVOID CONFLICT. INSTALLATION OF WORK WITHOUT COORDINATION WILL BE THE BASIS FOR REJECTION, REMOVAL AND REPLACEMENT AT NO COST TO THE OWNER. A/C PIPING INTENT IS TO RUN (N) PIPING IN (E) SOFFITS WHEREVER POSSIBLE.
 - DIMENSIONS ON REFLECTED CEILING PLANS ARE OVERALL TO FACE OF FINISH UNLESS NOTED OTHERWISE.
 - ELECTRICAL, MECHANICAL, AND PLUMBING FIXTURES REPRESENTED ON THESE REFLECTED CEILING PLANS ARE ILLUSTRATIVE ONLY AND MAY NOT REPRESENT ALL NECESSARY ITEMS. SEE MECH., ELEC. & PLUMBING DRAWINGS.
 - EXISTING CEILINGS AND WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED AS REQUIRED TO COMPLETE RENOVATION WORK INDICATED IN THE DRAWINGS. COORDINATE FINISH OF PATCHED AREAS TO MATCH ADJACENT EXISTING FINISHES. EXISTING WALLS AND CEILINGS ARE EITHER PLASTER OR GWB DEPENDING ON LOCATION. EXTERIOR WALLS HAVE PLASTER FINISH ON THE INTERIOR.
 - ALL (N) MECHANICAL PIPING AND INSULATION FOR A/C UNITS SHOULD BE PAINTED TO MATCH ADJACENT WALL. EXTERIOR SHOULD MATCH TRIM AND BRICK COLORS & INTERIOR SHOULD MATCH TRIM, CEILING AND WALL COLOR DEPENDING ON LOCATIONS.

- KEYNOTES - REFLECTED CEILING PLAN**
- | | |
|---|---|
| 1 | NOT USED |
| 2 | (E) FIRE ESCAPE |
| 3 | (N) MECH. PIPING FOR (N) A/C UNITS. PAINT TO MATCH ADJACENT WALL COLOR |
| 4 | (E) GWB SOFFIT - PATCH AND REPAIR. REPAIR ANY PIPING PENETRATIONS |
| 5 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. |
| 6 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. SPACE UNITS EVENLY WITHIN THIS ROOM |
| 7 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. INSTALL ABOVE (E) DOOR AND AVOID DAMAGE TO HISTORIC WOOD TRIM. DO NOT INSTALL (N) UNIT TIGHT TO CEILING |
| 8 | CONTRACTOR TO PERFORM REQUIRED MAINTENANCE ON EXISTING A/C UNIT - SEE MECH. |

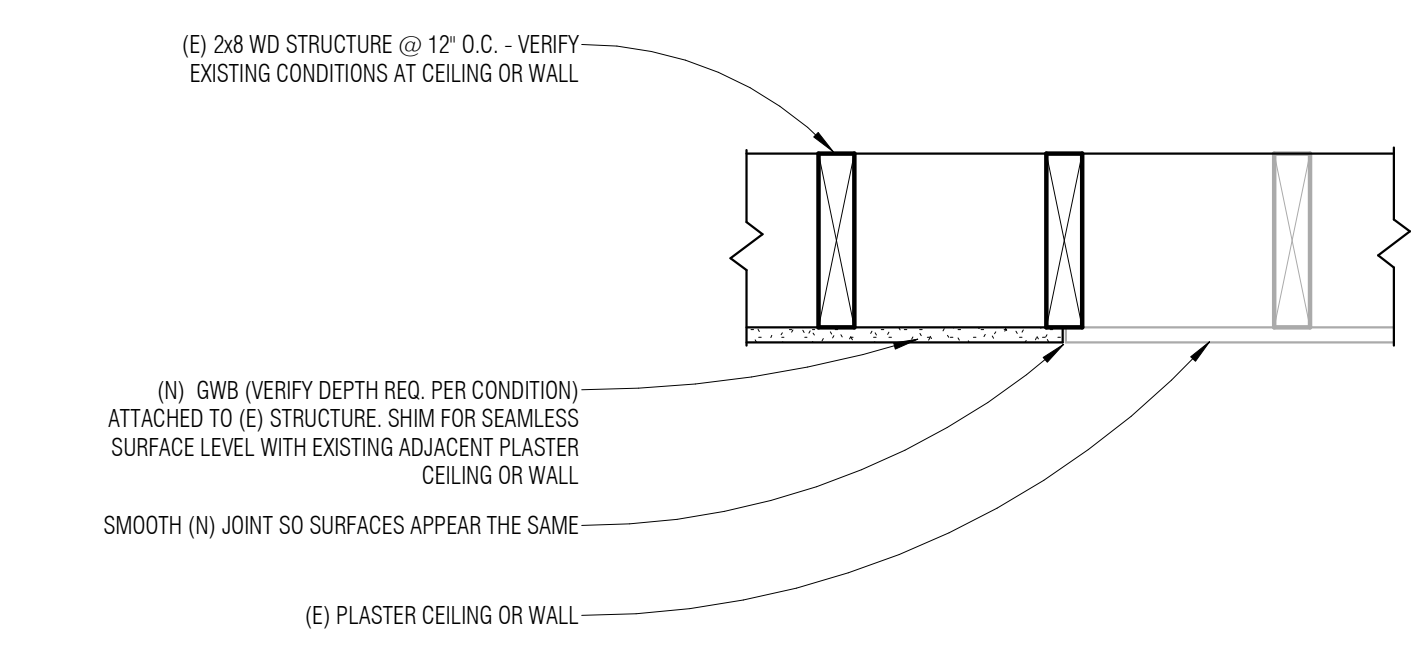
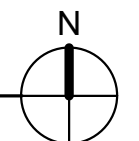


- SHEET NOTES - FINISHES**
- ALL NEW INTERIOR PAINTING FOR ALL WINDOW TRIM TO BE SEMI-GLOSS FINISH. ALL PATCH AND REPAIR PAINTING TO MATCH EXISTING PAINT SHEEN. CONTRACTOR TO FIELD VERIFY AT EACH CONDITION.

1
 1/8" = 1'-0" *NO AIR CONDITIONING WORK IN BASEMENT LEVEL.



2
 1/8" = 1'-0"



3
 1 1/2" = 1'-0" *CONTRACTOR TO PATCH AND REPAIR AREAS SMALLER THAN 1' SQUARE WITH (N) PLASTER. AREAS LARGER THAN 1' SQUARE TO BE PATCHED WITH (N) GWB W/ SIMILAR / MATCHING FINISH.

PROJECT:
YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES
 PROJECT NUMBER:
22-093
 PROJECT LOCATION:
501 N. PARK AVE. HELENA, MT 59601
 PREPARED FOR:
YWCA OF HELENA

LOGO:
eliminating racism empowering women ywca

REVISIONS:

No.	Date	Revision Description

NOT FOR CONSTRUCTION

TEAM:
 DRAWN BY: TJR
 CHECKED BY: BL

TITLE:
REFLECTED CEILING PLANS

PERMIT SET
 DATE:
2023-11-21
 PROJECT NUMBER:
22-093

SHEET NO.:
A2.20

SHEET NOTES - REFLECTED CEILING PLAN

- SEE FLOOR PLANS FOR WALL TYPES.
- CEILING SPACES MAY BE LIMITED. SOME SOFFITS MAY REQ. MIN. CLEAR INSIDE DIMENSIONS AND MUST BE COORDINATED WITH MECH. PRIOR TO INSTALLATION. ALL PARTIES MUST COORDINATE THE INSTALLATION OF THEIR WORK PRIOR TO INSTALLATION TO AVOID CONFLICT. INSTALLATION OF WORK WITHOUT COORDINATION WILL BE THE BASIS FOR REJECTION, REMOVAL, AND REPLACEMENT AT NO COST TO THE OWNER. A/C PIPING INTENT IS TO RUN (N) PIPING IN (E) SOFFITS WHEREVER POSSIBLE.
- DIMENSIONS ON REFLECTED CEILING PLANS ARE OVERALL TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- ELECTRICAL, MECHANICAL, AND PLUMBING FIXTURES REPRESENTED ON THESE REFLECTED CEILING PLANS ARE ILLUSTRATIVE ONLY AND MAY NOT REPRESENT ALL NECESSARY ITEMS. SEE MECH., ELEC. & PLUMBING DRAWINGS.
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KEYNOTES - REFLECTED CEILING PLAN

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| 3 | (N) MECH. PIPING FOR (N) A/C UNITS. PAINT TO MATCH ADJACENT WALL COLOR |
| 4 | (E) GWB SOFFIT - PATCH AND REPAIR. REPAIR ANY PIPING PENETRATIONS |
| 5 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. |
| 6 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. SPACE UNITS EVENLY WITHIN THIS ROOM |
| 7 | (N) MECH. AIR CONDITIONING UNIT - SEE MECH. INSTALL ABOVE (E) DOOR AND AVOID DAMAGE TO HISTORIC WOOD TRIM. DO NOT INSTALL (N) UNIT TIGHT TO CEILING |
| 8 | CONTRACTOR TO PERFORM REQUIRED MAINTENANCE ON EXISTING A/C UNIT - SEE MECH. |

REFLECTED CEILING KEY

- | | |
|--|--|
| | (E) GWB - GYPSUM WALL BOARD OR PLASTER CEILING - PATCH AND REPAIR, REPAIR ANY PIPING PENETRATIONS. |
|--|--|

SHEET NOTES - FINISHES

- ALL NEW INTERIOR PAINTING FOR ALL WINDOW TRIM TO BE SEMI-GLOSS FINISH. ALL PATCH AND REPAIR PAINTING TO MATCH EXISTING PAINT SHEEN, CONTRACTOR TO FIELD VERIFY AT EACH CONDITION.

PROJECT:
YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES

PROJECT NUMBER:
22-093

PROJECT LOCATION:
501 N. PARK AVE. HELENA, MT 59601

PREPARED FOR:
YWCA OF HELENA

LOGO:



CONSULTANT:

KEYMAP:

REVISIONS:

No.	Date	Revision Description

NOT FOR CONSTRUCTION

TEAM:
 DRAWN BY: T.B. BL
 CHECKED BY: B.L. MO

TITLE:

REFLECTED CEILING PLAN

DATE:
2023-11-21

PROJECT NUMBER:
22-093

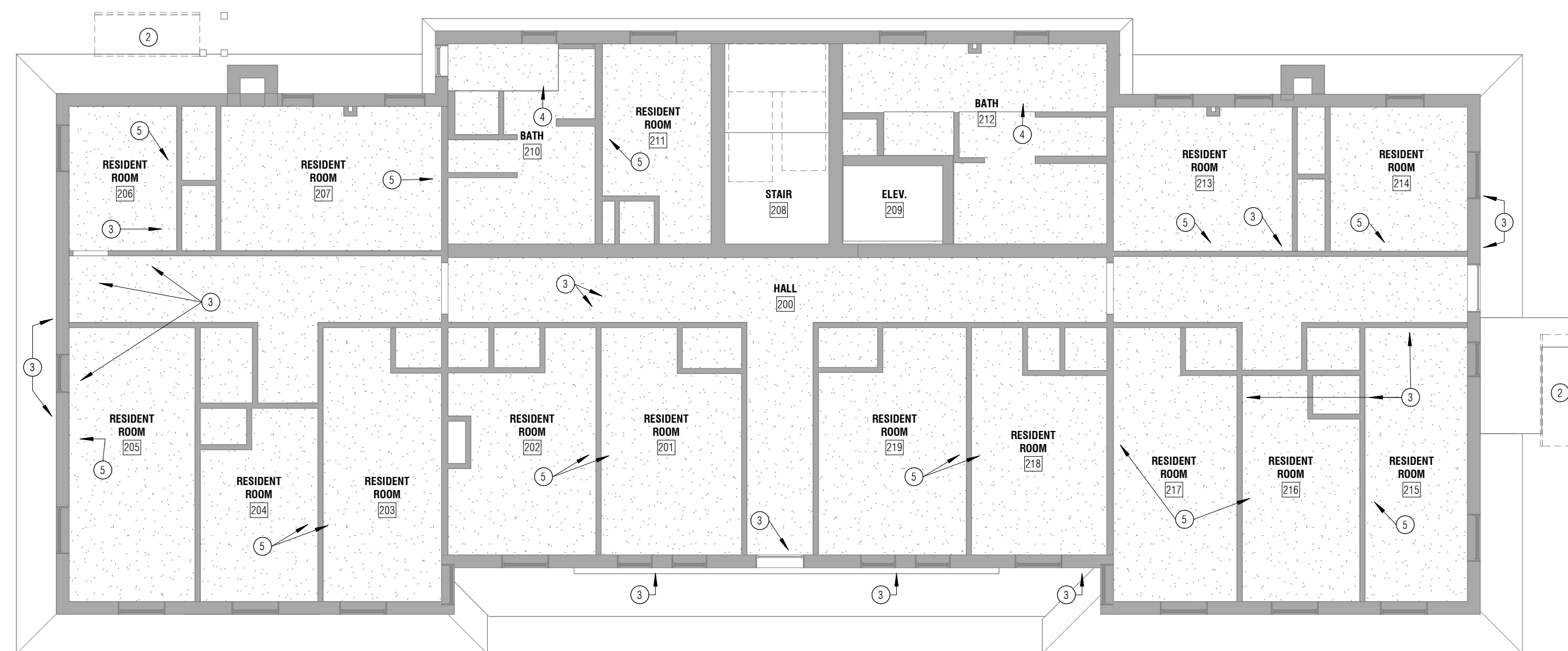
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2023-11-21

PROJECT NUMBER:
22-093

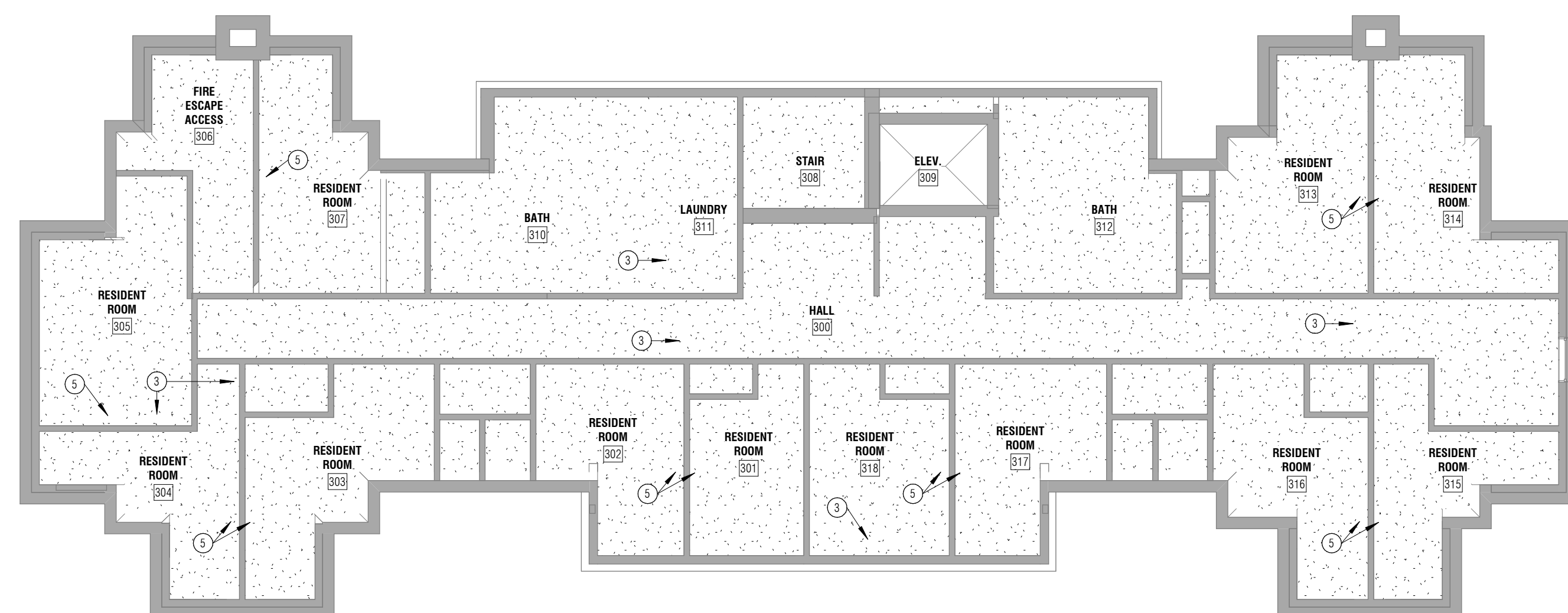
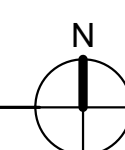
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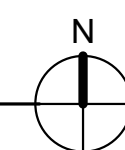
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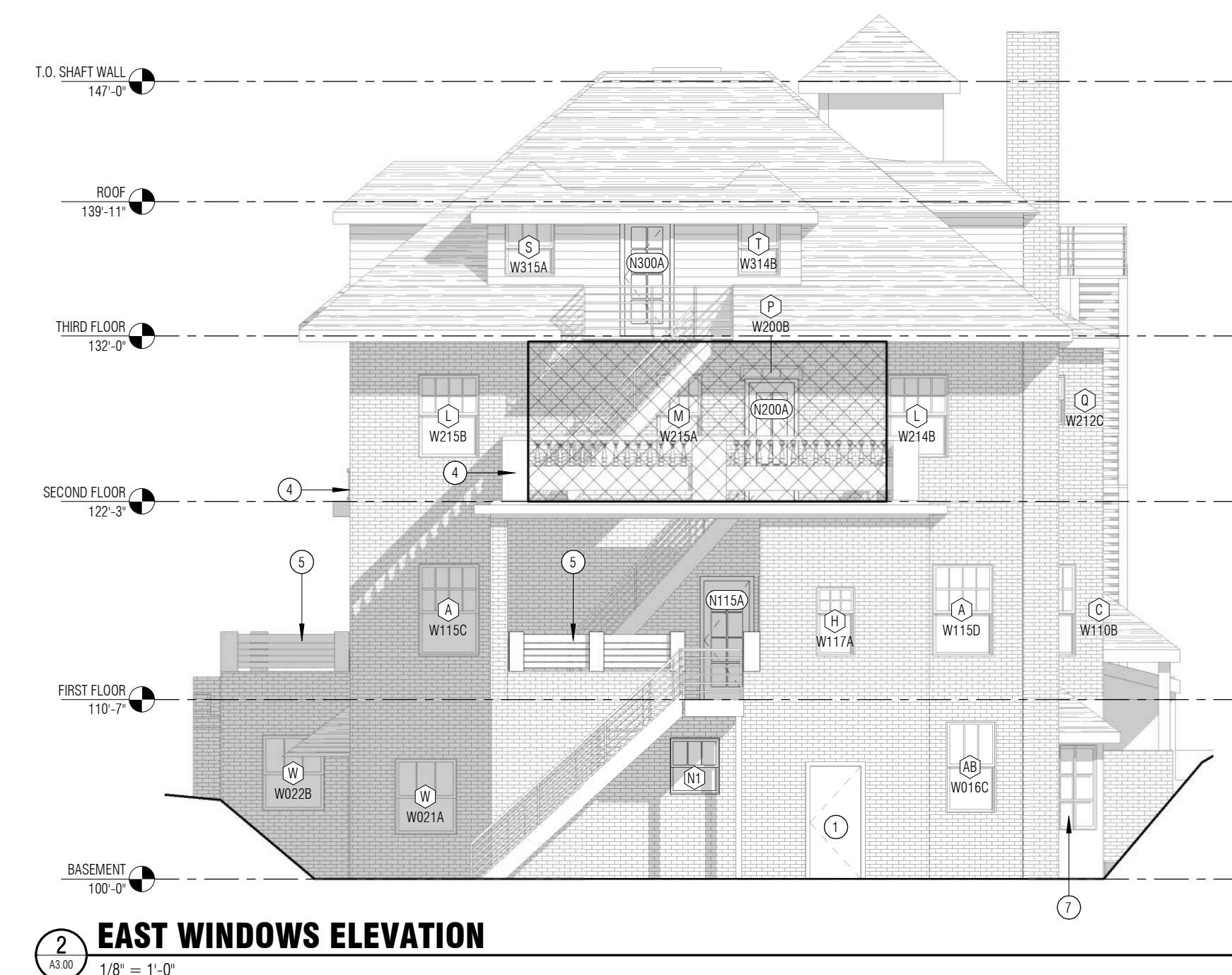
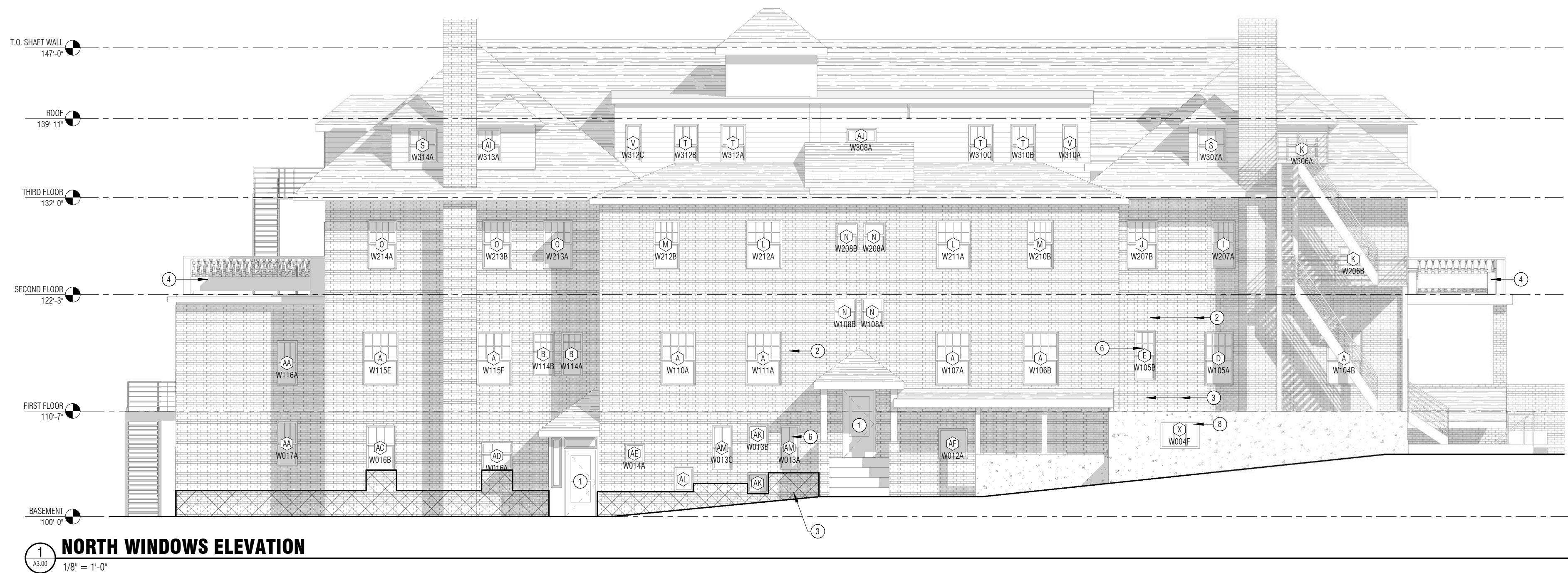
1/8" = 1'-0"



2 THIRD FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"





ELEVATION LEGEND

- HATCHED AREAS INDICATE AREAS OF EXISTING MASONRY REQUIRING REPOINTING - FIELD VERIFY
ALTERNATE 01
- EXISTING MASONRY
- EXISTING ASPHALT SHINGLES
- EXISTING FIBER CEMENT HORIZONTAL SIDING
- EXISTING CONCRETE

KEYNOTES - EXTERIOR ELEVATIONS

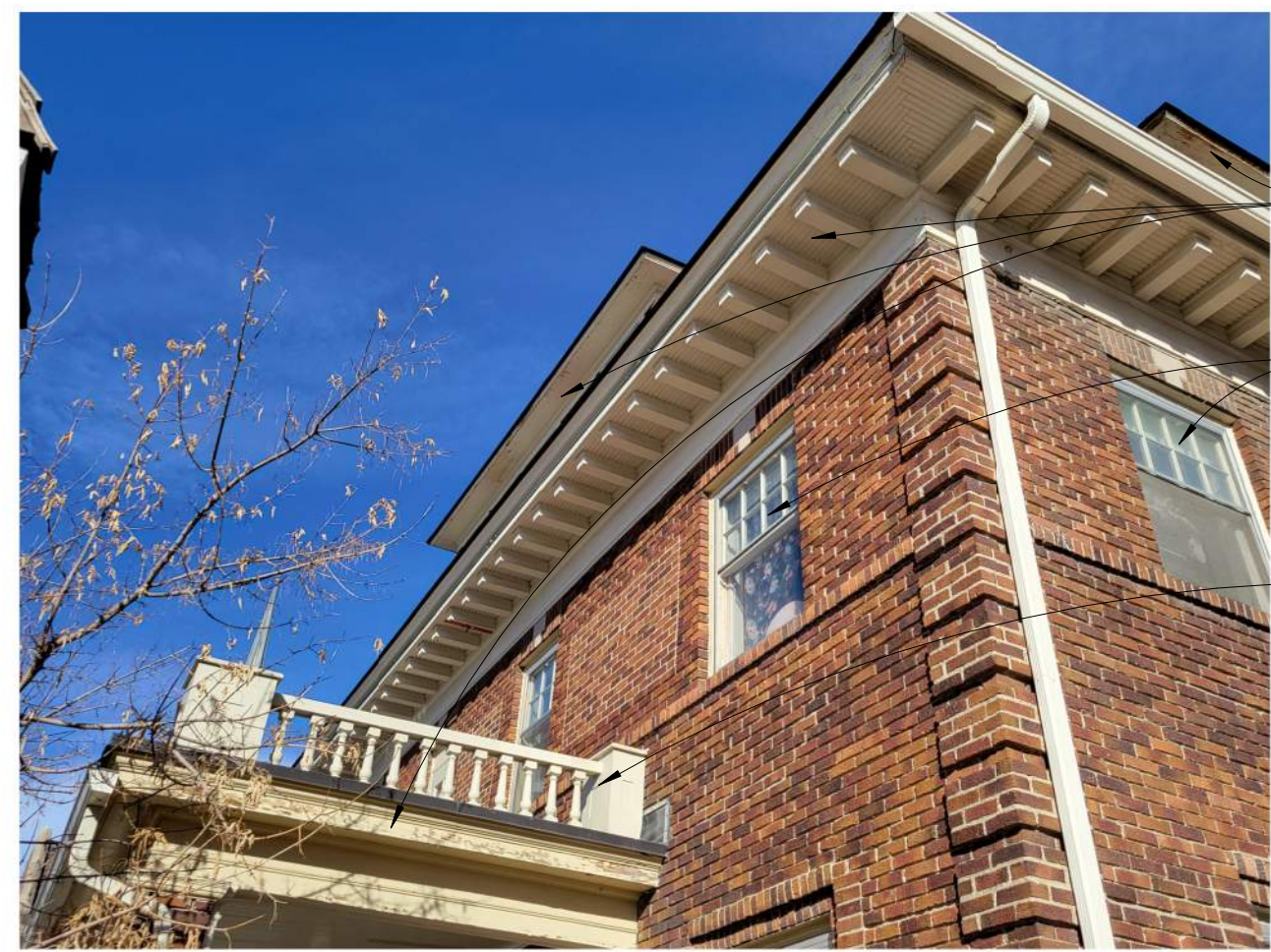
- EXISTING DOOR - NO WORK
- (N) MECH. PIPING FOR (N) A/C UNITS. PAINT TO MATCH ADJACENT WALL COLOR
- (N) MECH. AIR CONDITIONING UNIT - SEE MECH.
- WOOD BALUSTRADES - REPAIR
- STEEL BALUSTRADES - NO PAINT
- (N) MECH. PIPING FOR (N) A/C UNITS - ROUTE AROUND (E) ELEMENTS SUCH AS WINDOWS FOR LEAST OBSTRUCTIVE APPEARANCE
- (E) WINDOW AT BASEMENT EXIT - NO WORK. NO (N) STORM WINDOW TO BE PROVIDED
- CONTRACTOR TO ASSUME 2 OF THIS (E) WINDOW TYPE (ALONG WITH ASSOCIATED REPAIRS AND NEW STORM WINDOWS) IN THIS LOCATION. OTHER (E) WINDOW IN THIS AREA IS HIDDEN VISUALLY.
- (E) BRICK COLUMNS WITH (E) WOOD TRIM ACCENTS COLUMN SIDES - (E) WOOD TRIM TO BE REPAIRED, PREPPED AND REPAINTED
- EXISTING DOOR - REPAIR EXTERIOR AND INTERIOR DOOR AND TRIM

SHEET NOTES - BUILDING ELEVATIONS

- PROTECT ALL EXISTING BUILDING ELEVATION FEATURES (WINDOWS, BALUSTRADES, TRIM, ETC.) DURING COURSE OF CONSTRUCTION.
- REPOINTING: REMOVE LOOSE PAINT AND REPAINT ALL EXTERIOR WOOD SOFFIT, FASCIA, AND TRIM EXCLUDING EXTERIOR WINDOWS. WINDOW TRIM REPOINTING SHALL BE INCLUDED IN THE BASE BID WINDOW WORK. INTERIOR WINDOW TRIM PAINT SHALL BE MITIGATED PER EPA LEAD RRP REQUIREMENTS. SEE PROJECT MANUAL FOR ENVIRONMENTAL REPORT. CONTRACTOR REQUIRED TO MAINTAIN A CLEAN WORK AREA.
- SEE ILLUSTRATIVE PHOTOS FOR MORE INFORMATION AND DETAILING OF EXISTING WOOD SOFFITS, FASCIAS, AND TRIM AT ALL ELEVATIONS OF THE BUILDING TO BE REPAINTED.
- SEE ILLUSTRATIVE PHOTOS FOR MORE INFORMATION REGARDING REPOINTING OF MASONRY AT ALL BUILDING ELEVATIONS.



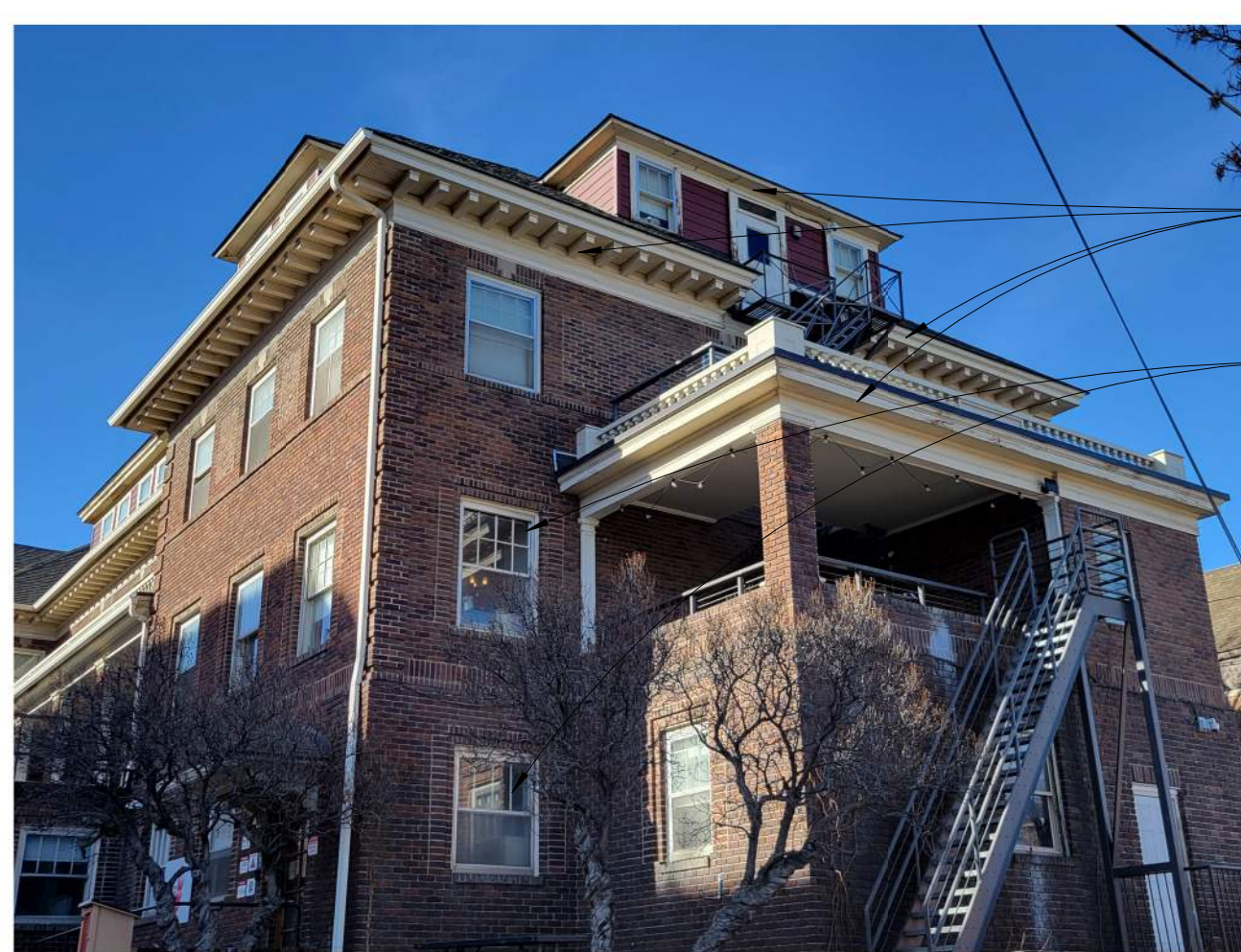
PORTION OF NORTH ELEVATION



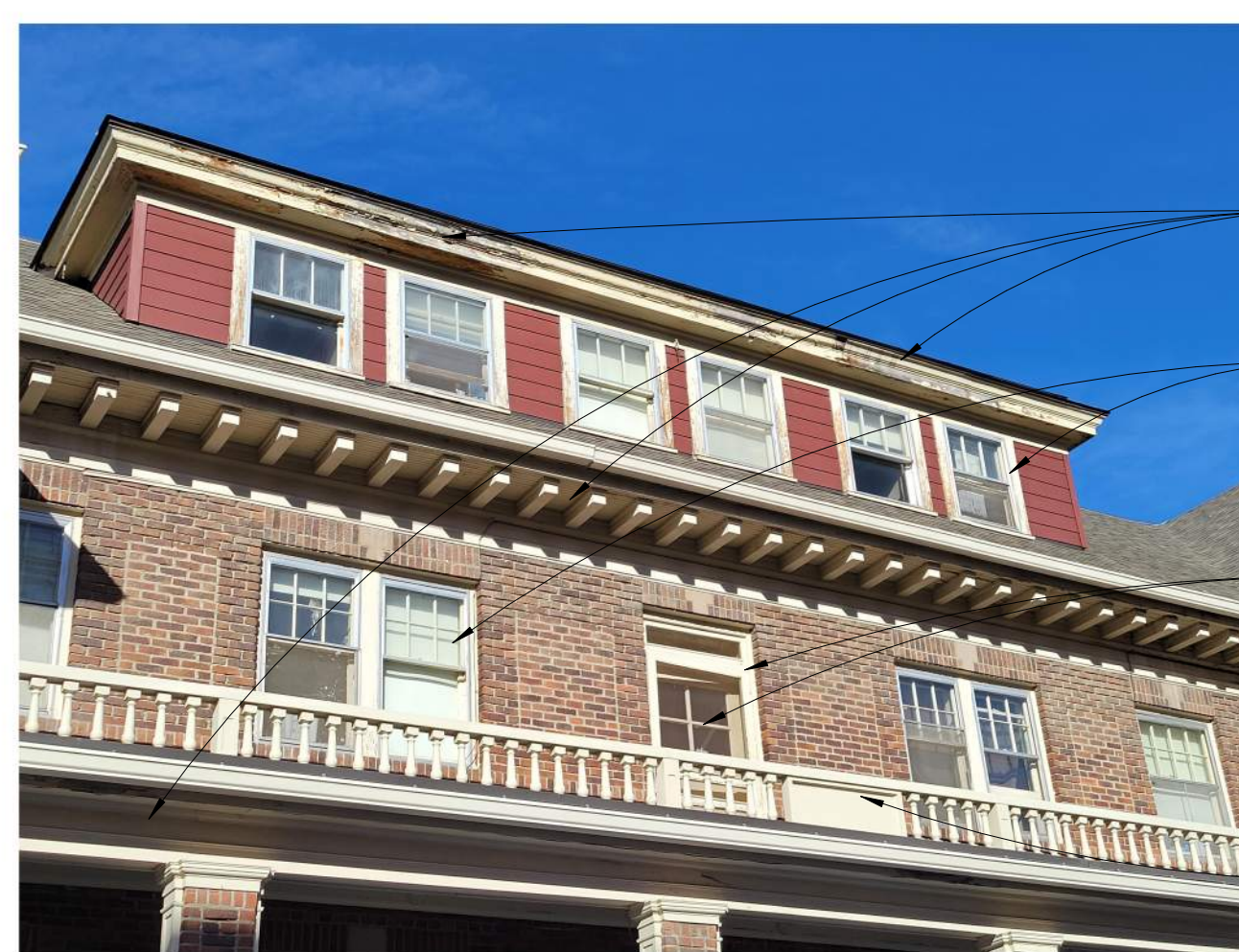
PORTION OF WEST ELEVATION



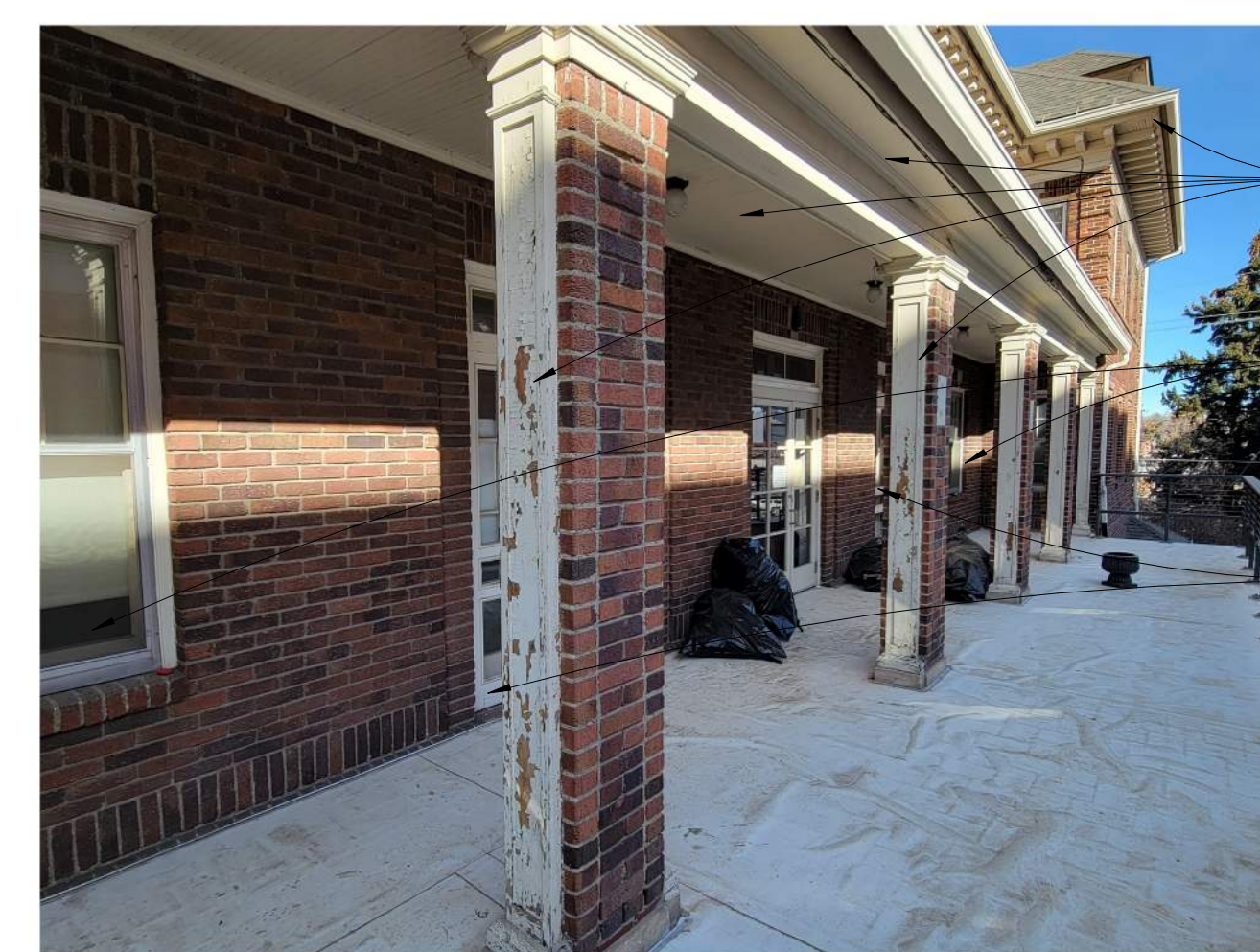
PORTION OF SOUTH ELEVATION - AT ROOF. TYPICAL DENTIL AND WOOD DETAILING AT ROOF SOFFIT



PORTION OF EAST ELEVATION



PORTION OF SOUTH ELEVATION



PORTION OF SOUTH ELEVATION - AT PORCH

REVISIONS:

No.	Date	Revision Description

NOT FOR CONSTRUCTION

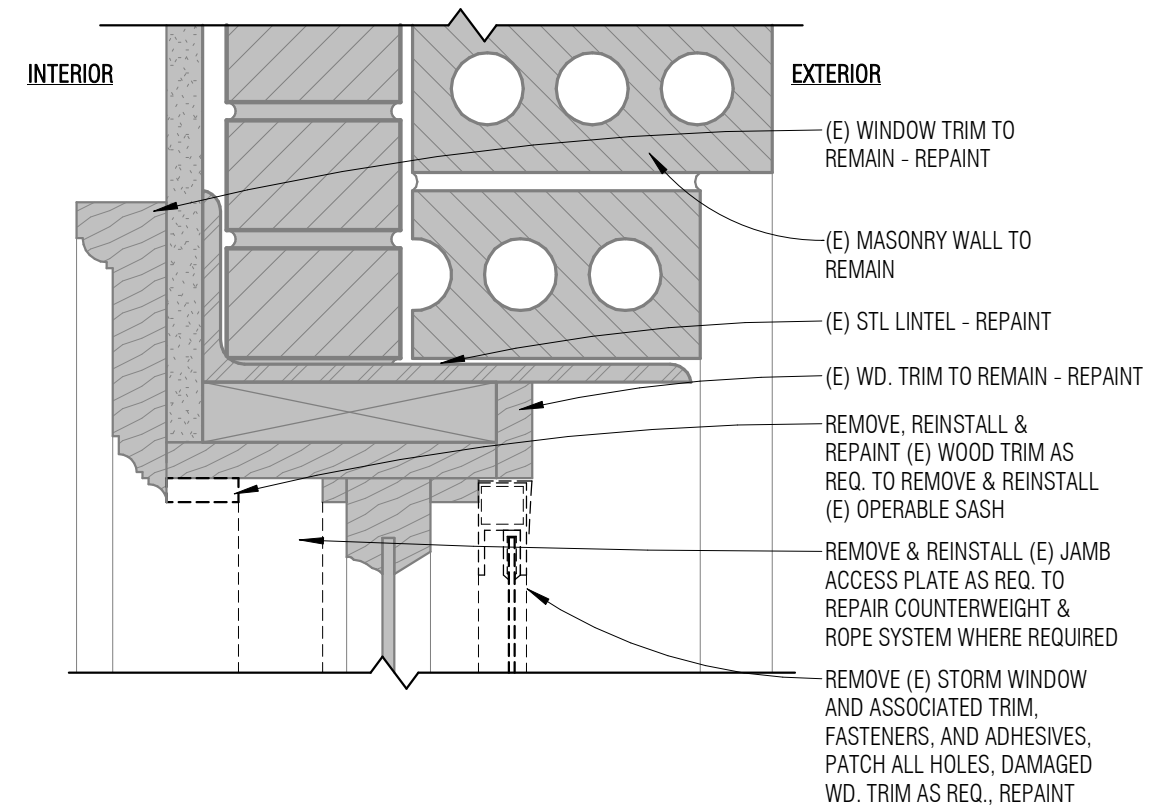
TEAM:
DRAWN BY: T.B. PR
CHECKED BY: P.R. BL. MD

TITLE:
EXTERIOR ELEVATIONS & REPAIRING PHOTOS

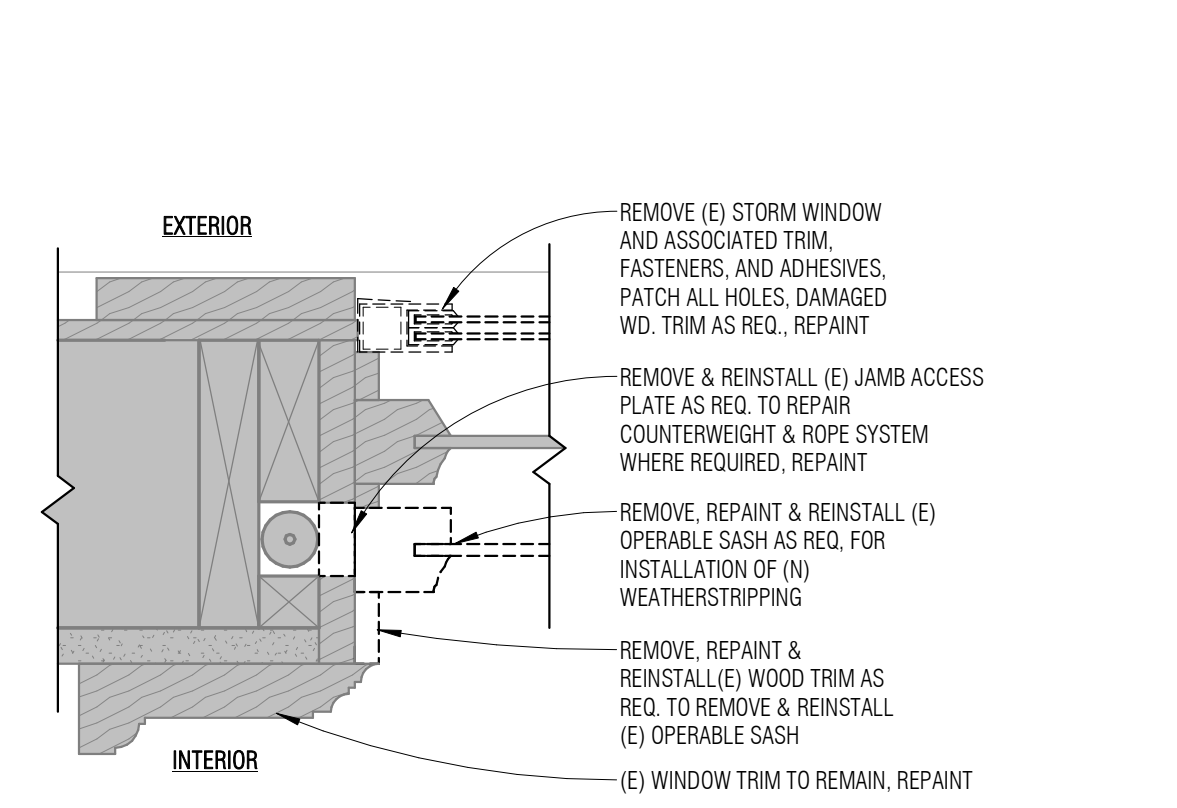
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DATE: 2023-11-21
PROJECT NUMBER: 22-093

SHEET NO.:

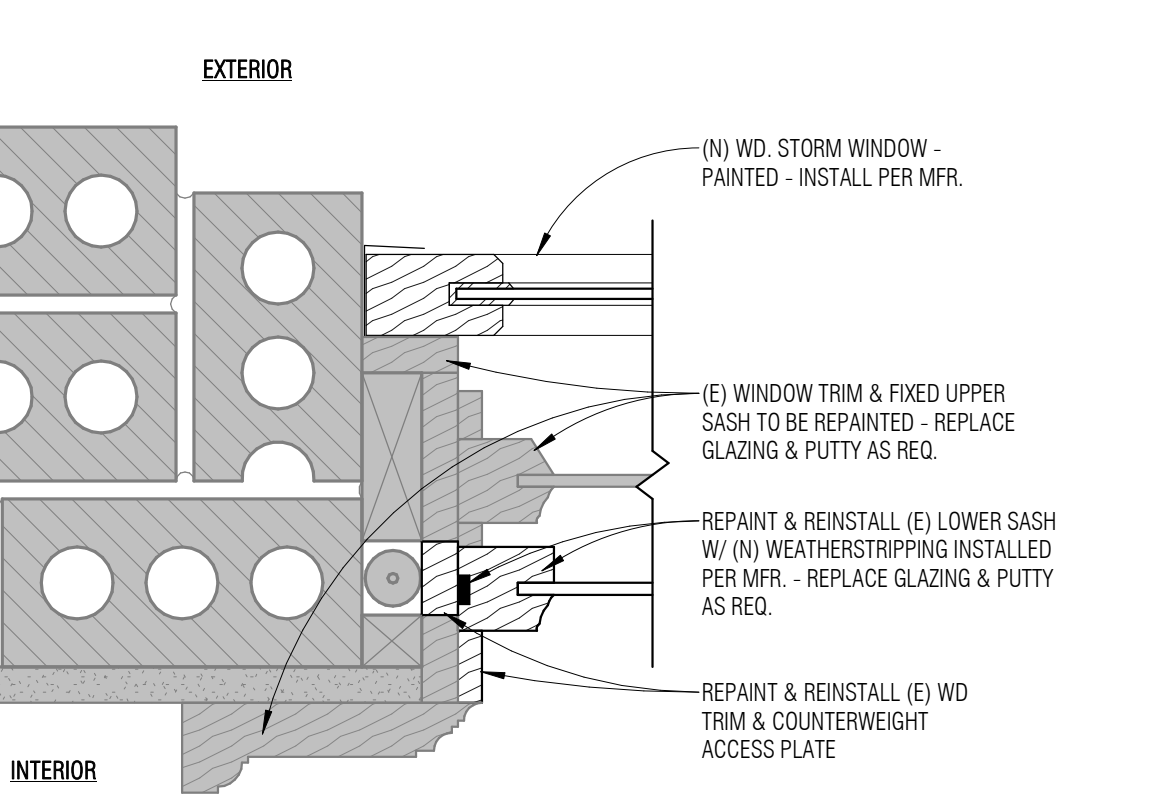
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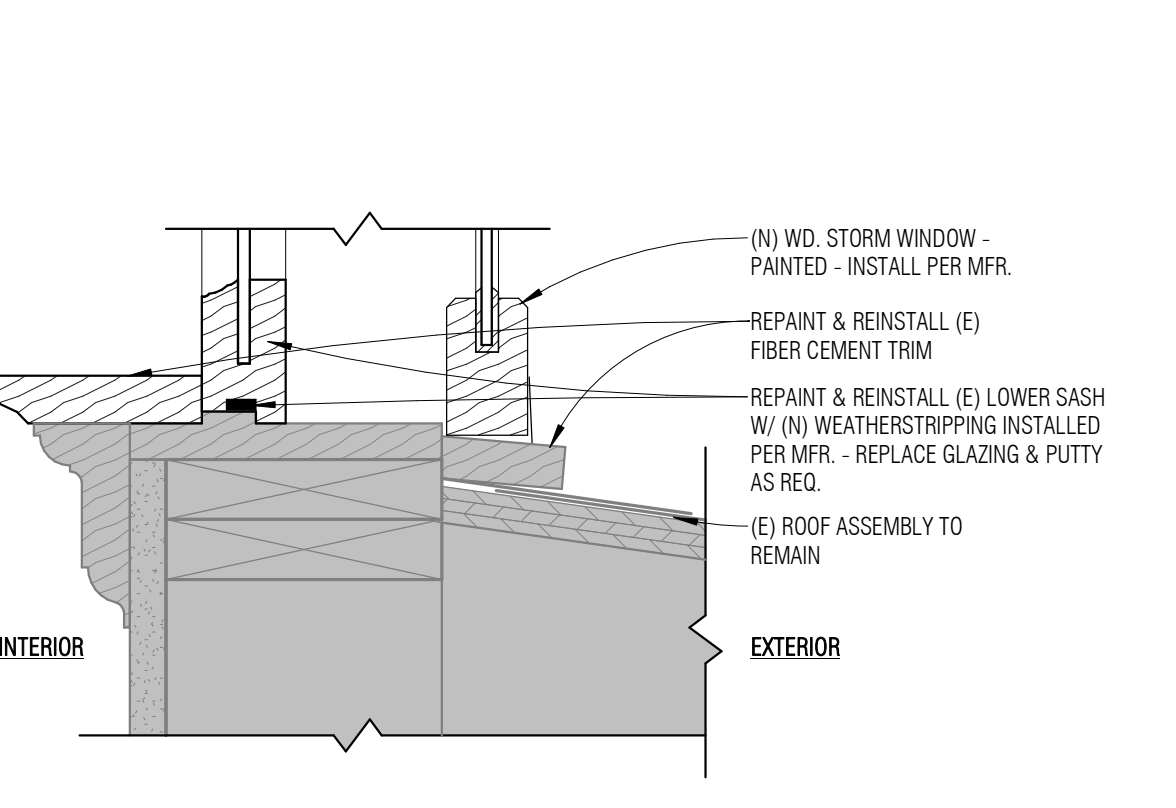
1 WINDOW HEAD DEMO @ MASONRY
3" = 1'-0"



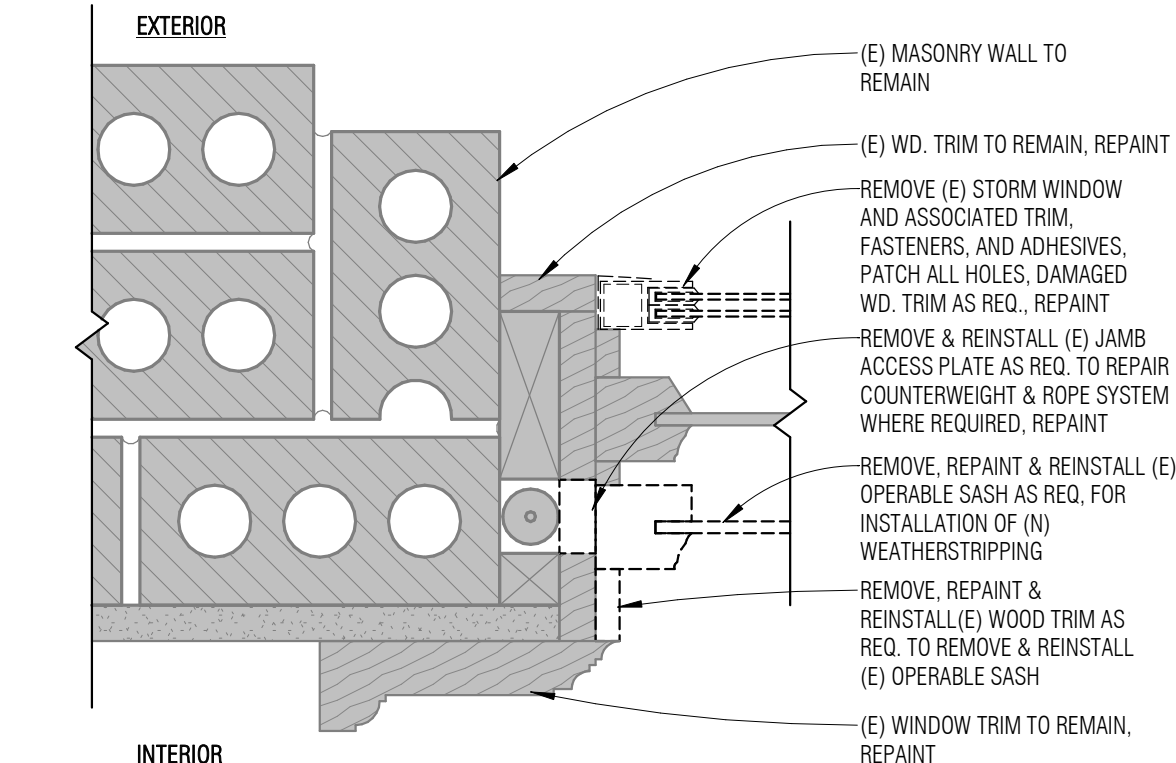
5 WINDOW JAMB DEMO @ WD SIDING
3" = 1'-0"



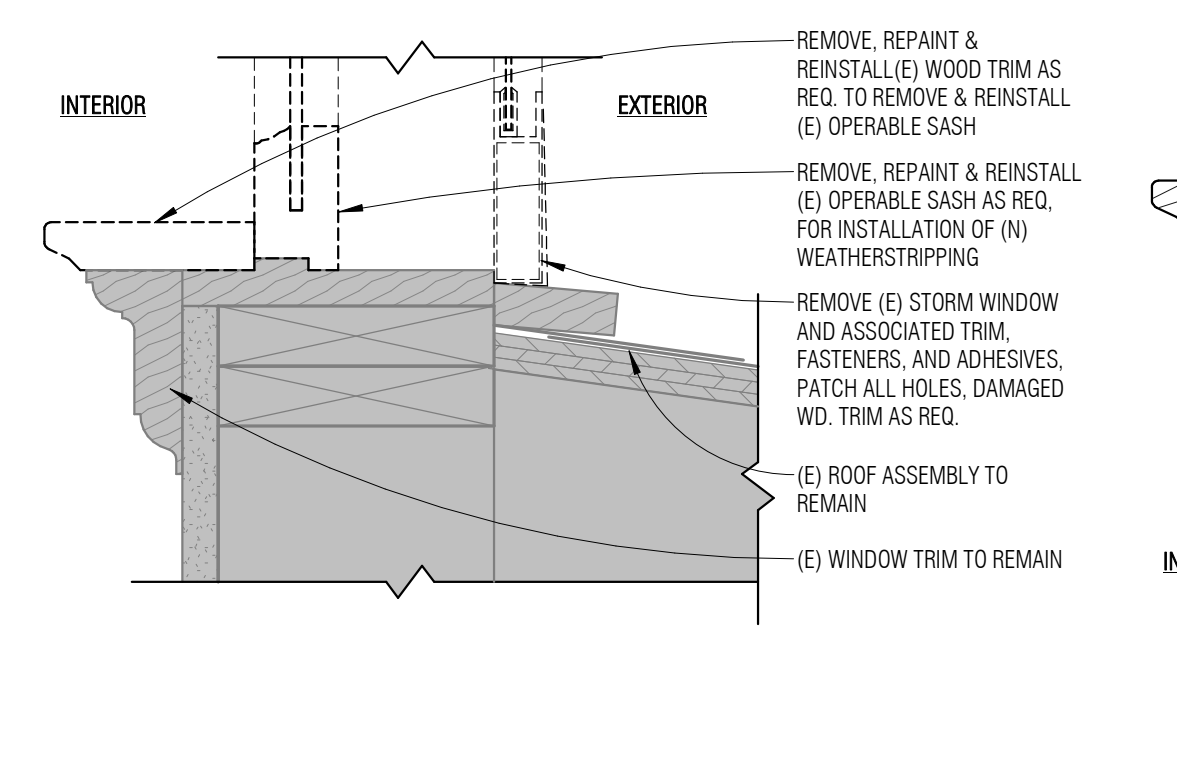
9 REMODEL WINDOW JAMB @ MASONRY
3" = 1'-0"



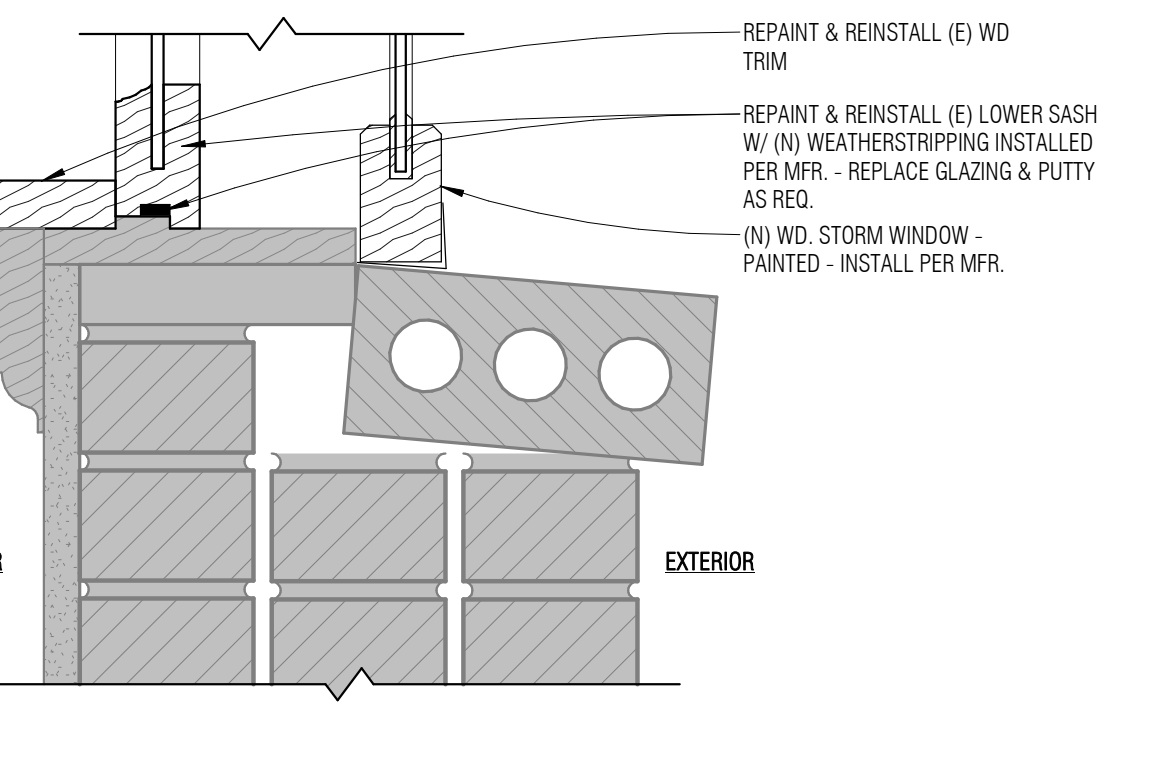
13 REMODEL WINDOW SILL @ FIBER CEMENT SIDING
3" = 1'-0"



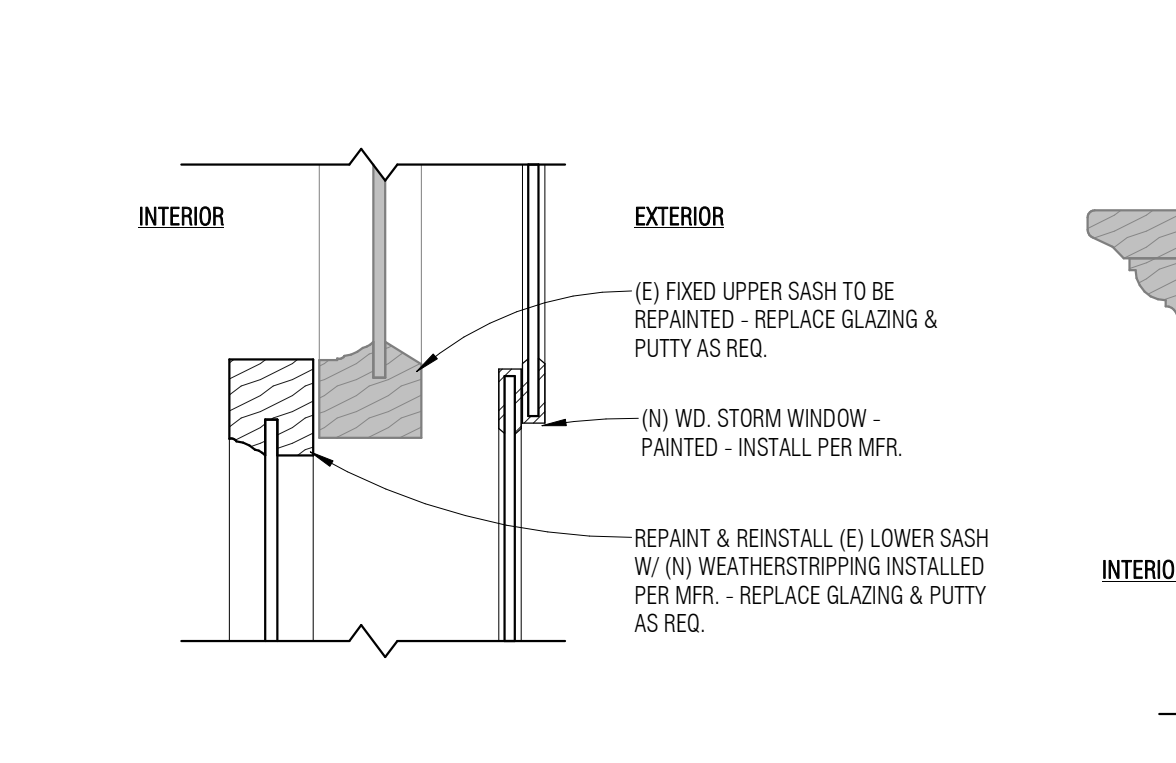
2 WINDOW JAMB DEMO @ MASONRY
3" = 1'-0"



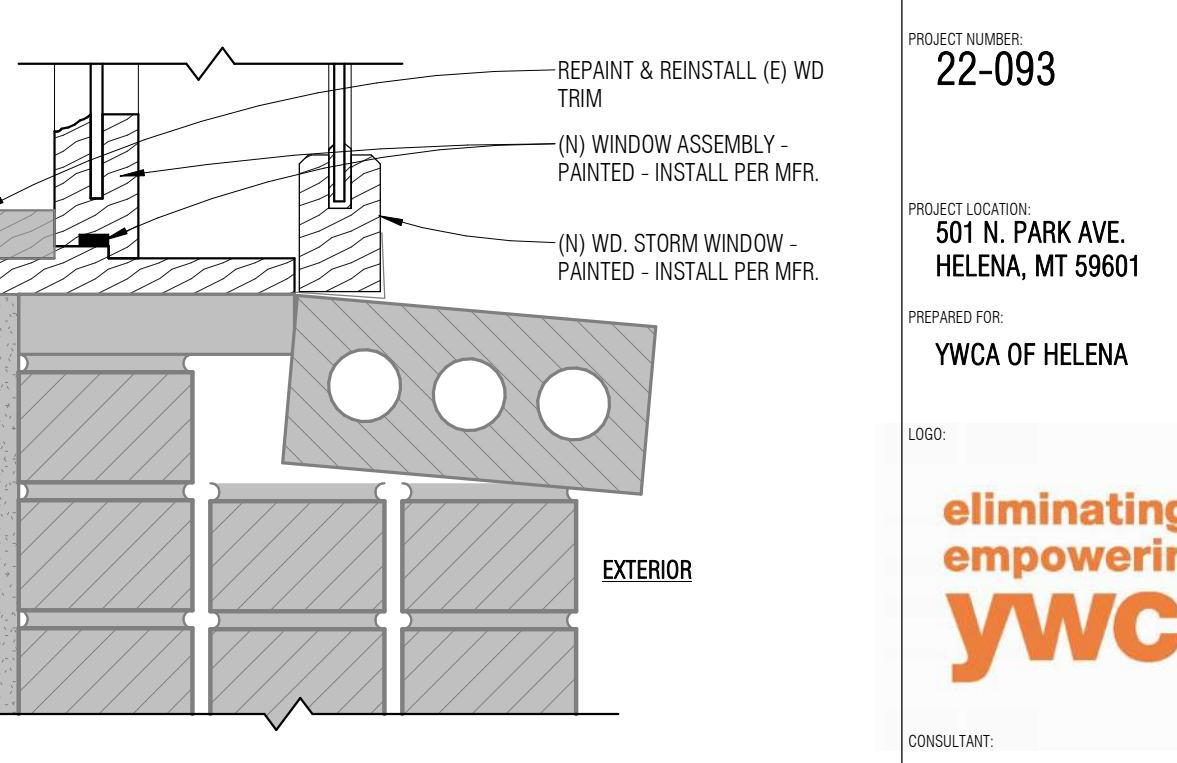
6 WINDOW SILL DEMO @ WD SIDING
3" = 1'-0"



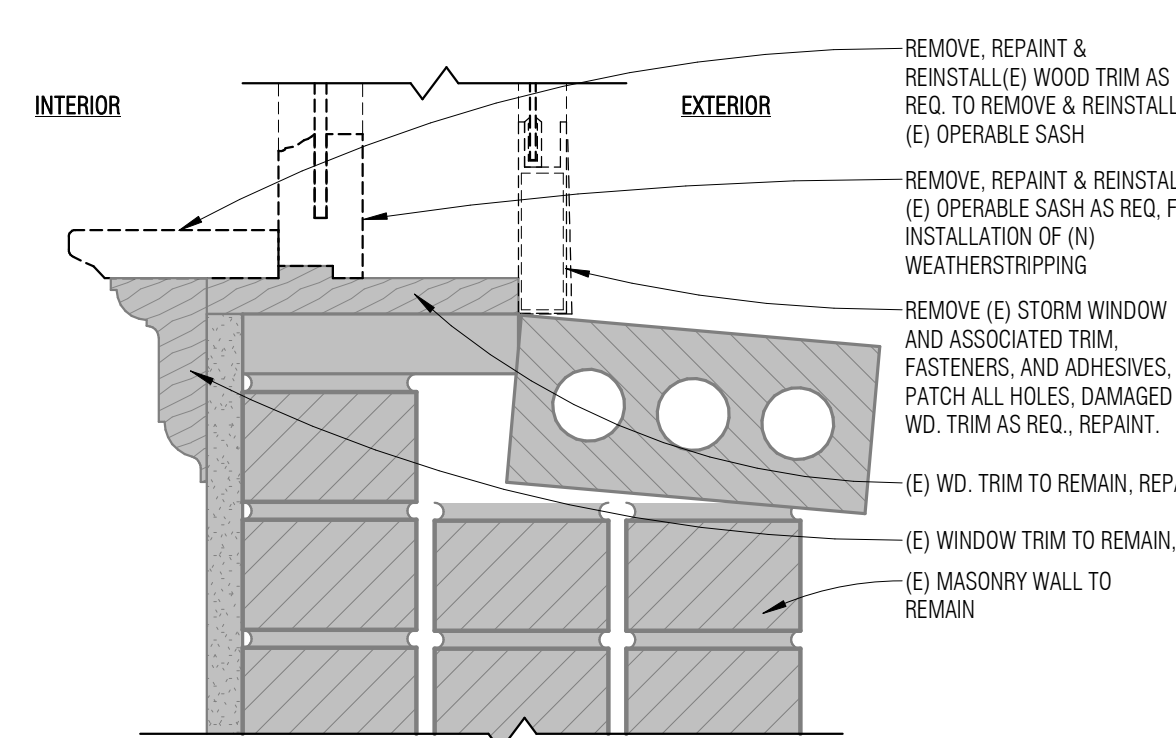
10 REMODEL WINDOW SILL @ MASONRY
3" = 1'-0"



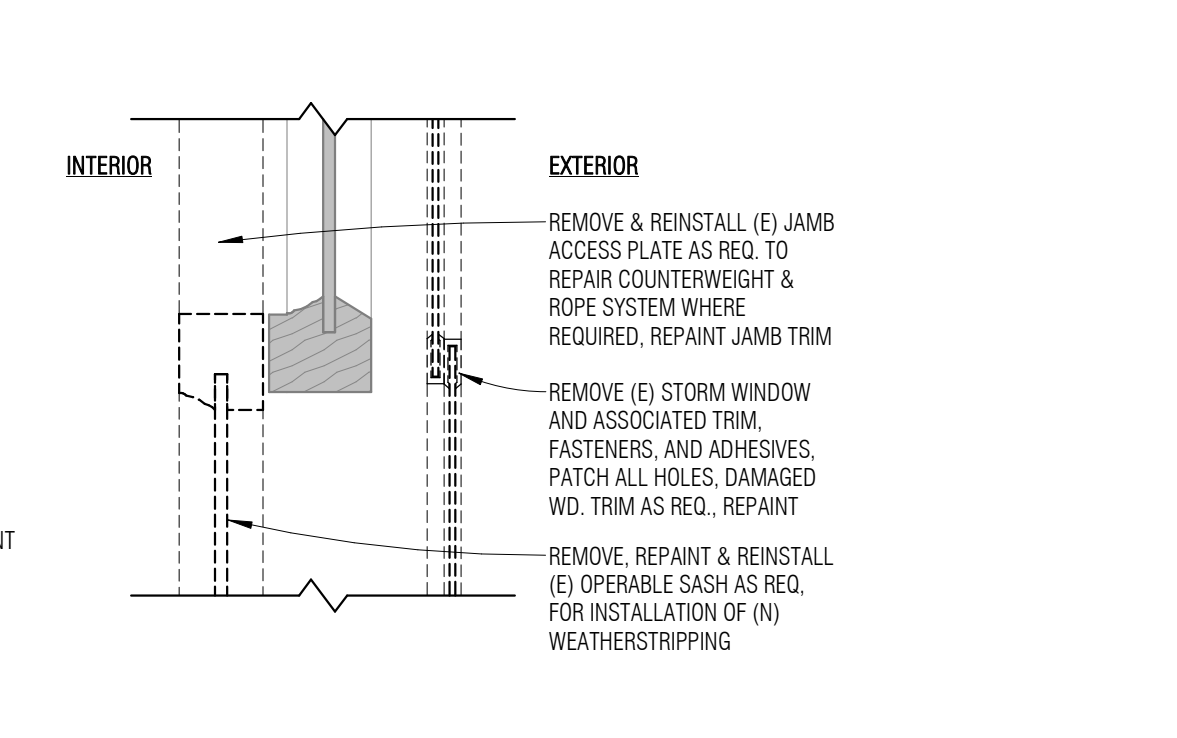
14 REMODEL OPERABLE SASH
3" = 1'-0"



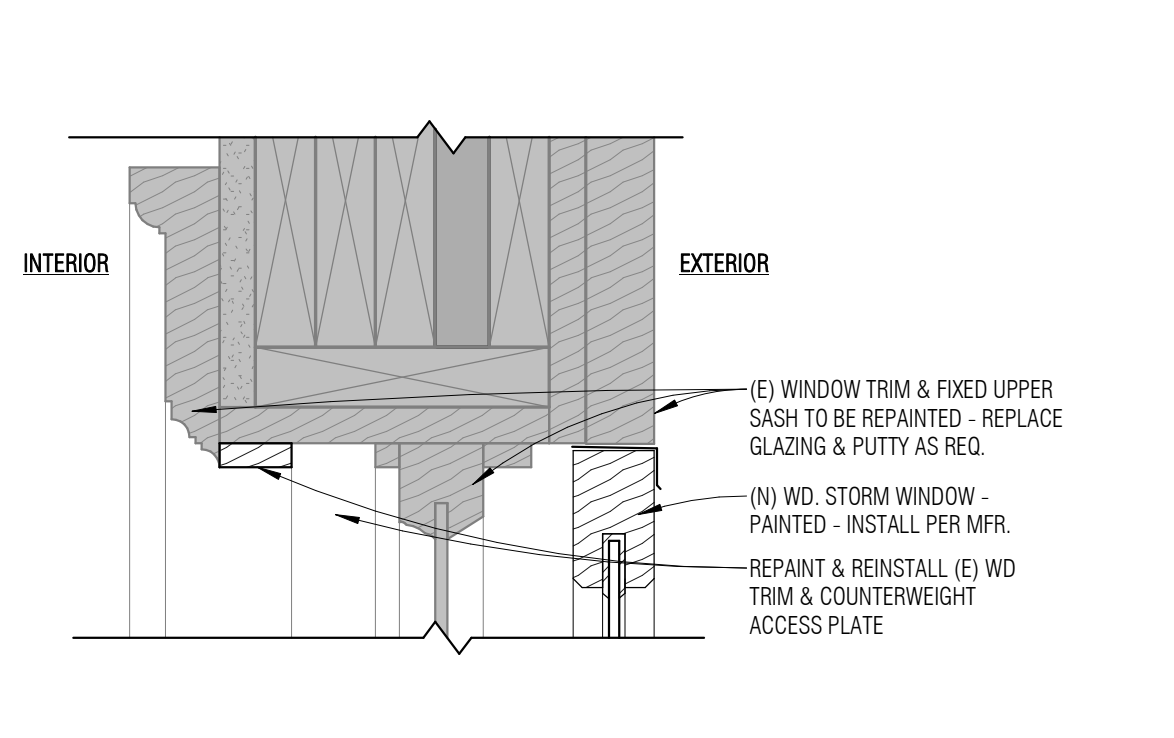
17 NEW WINDOW SILL @ MASONRY
3" = 1'-0"



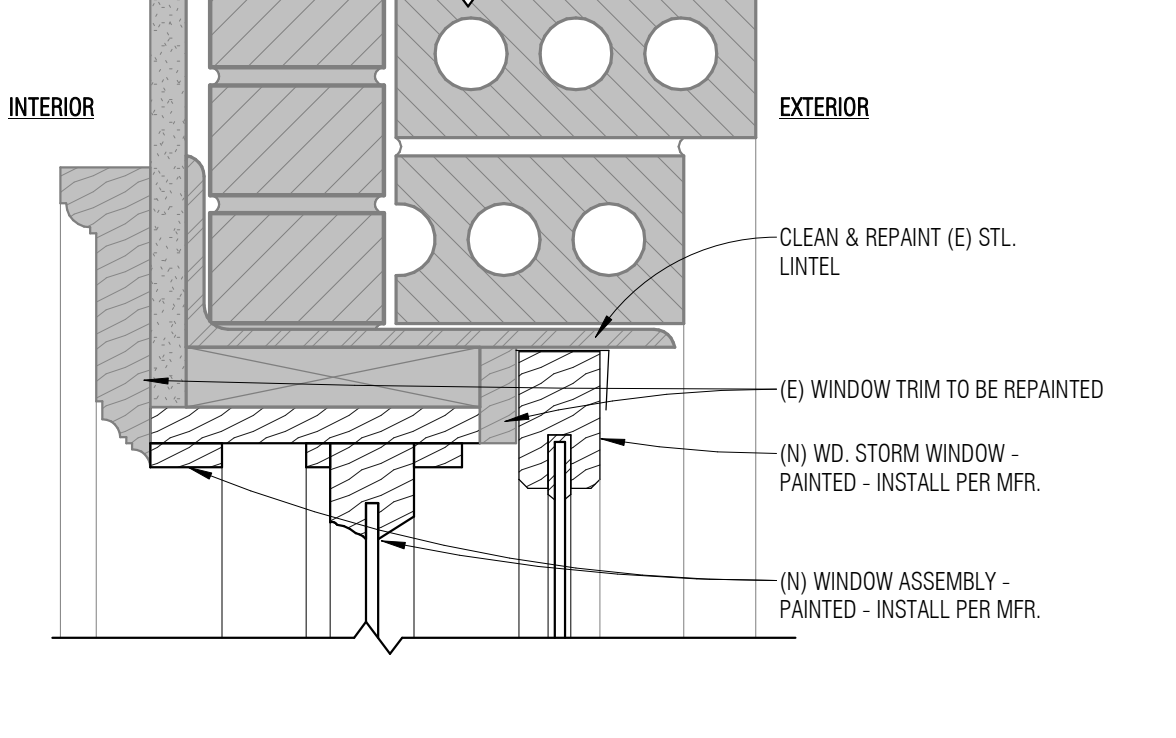
3 WINDOW SILL DEMO @ MASONRY
3" = 1'-0"



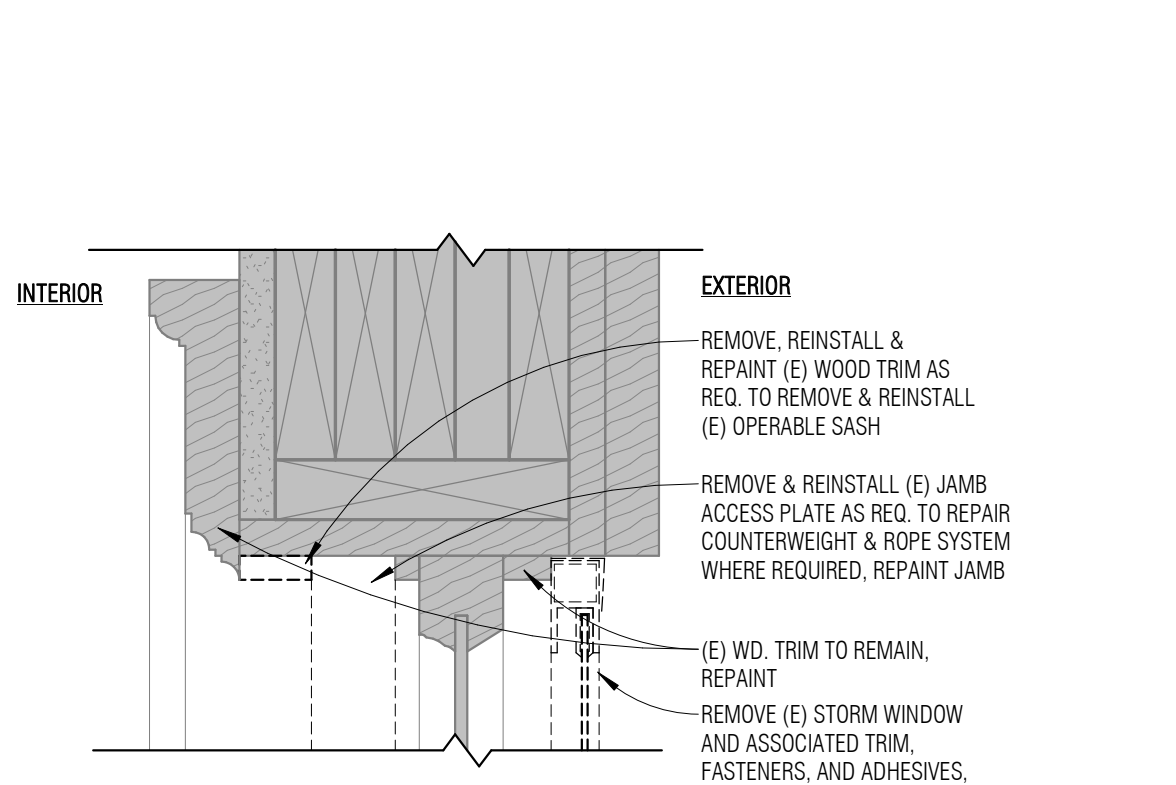
7 OPERABLE SASH DEMO DETAIL
3" = 1'-0"



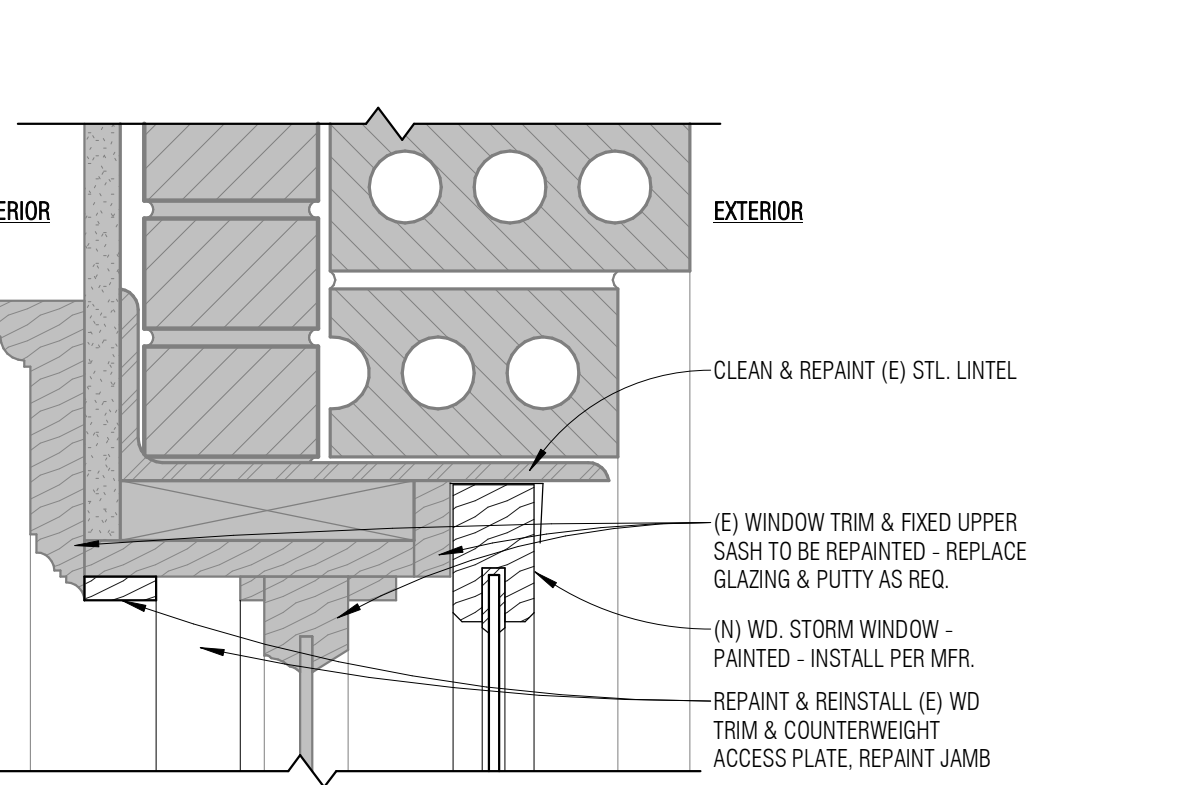
11 REMODEL WINDOW HEAD @ FIBER CEMENT SIDING
3" = 1'-0"



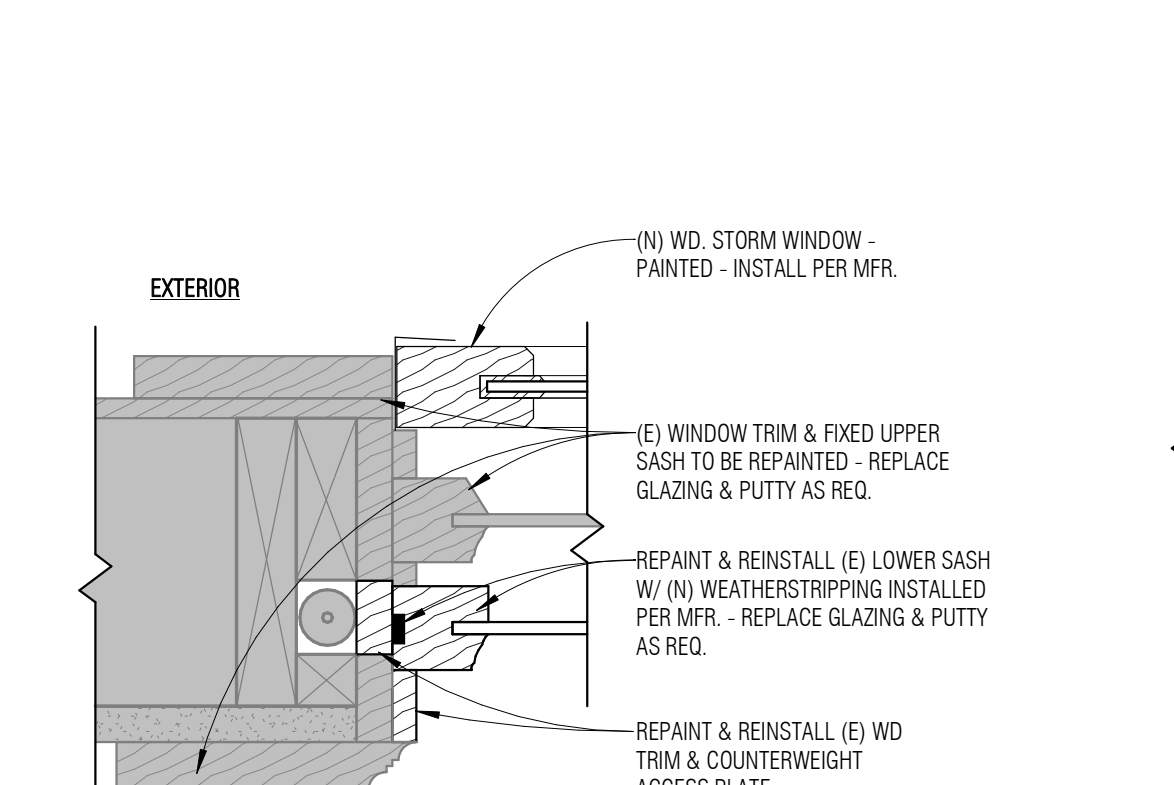
15 NEW WINDOW HEAD @ MASONRY
3" = 1'-0"



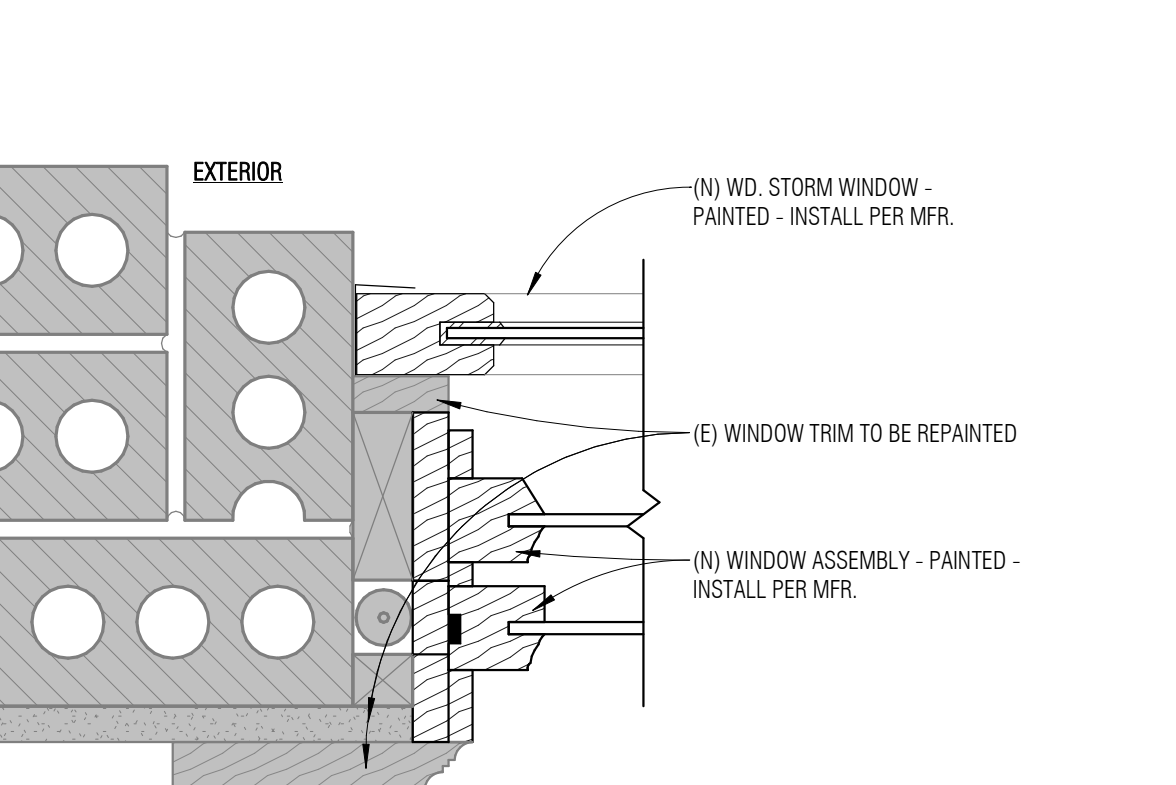
4 WINDOW HEAD DEMO @ WD SIDING
3" = 1'-0"



8 REMODEL WINDOW HEAD @ MASONRY
3" = 1'-0"



12 REMODEL WINDOW JAMB @ FIBER CEMENT SIDING
3" = 1'-0"



16 NEW WINDOW JAMB @ MASONRY
3" = 1'-0"

4 WINDOW HEAD DEMO @ WD SIDING
3" = 1'-0"

8 REMODEL WINDOW HEAD @ MASONRY
3" = 1'-0"

12 REMODEL WINDOW JAMB @ FIBER CEMENT SIDING
3" = 1'-0"

16 NEW WINDOW JAMB @ MASONRY
3" = 1'-0"

WINDOW REFURBISHMENT GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS OF EACH WINDOW PRIOR TO COMMENCING WORK AND ORDERING STORM WINDOWS AND REPLACEMENT GLAZING.
2. CONTRACTOR TO RESTORE OPERABILITY TO ALL EXISTING OPERABLE SASHES REGARDLESS OF OPERABILITY TYPE - SINGLE HUNG, AWNING, HOPPER, SLIDER, ETC. AND SHALL VERIFY THE OPERABILITY OF EACH WINDOW PRIOR TO COMMENCING WORK. ANY REPLACED ITEMS SHALL MATCH DIMENSIONS AND APPEARANCE OF ORIGINAL WINDOW COMPONENTS.
3. NEW SCREENS ARE TO BE PROVIDED THAT EXTEND FROM SILL TO BOTTOM OF UPPER SASH. LEAD BASED PAINT IS PRESENT IN THE WORK ON THE WINDOWS AND ADJACENT HEAD, JAMB, SILL, INTERIOR, AND EXTERIOR TRIM CONDITIONS. CONTRACTOR TO FOLLOW ALL APPLICABLE GUIDELINES AND REQUIREMENTS FOR WORKING WITH LEAD BASED PAINT, INCLUDING ENSURING THE SAFETY OF BUILDING USERS, DURING THE COURSE OF CONSTRUCTION.
4. SEE FLOOR PLAN SHEET WINDOWS ASSESSMENT SCHEDULES FOR REQUIRED WORK FOR EACH WINDOW.
5. CONTRACTOR TO REPORT ANY DISCOVERED DISCREPANCIES IN WINDOW CONDITION OR REQUIRED WORK TO ARCHITECT IMMEDIATELY.
6. FOR BIDDING PURPOSES, ASSUME REPLACEMENT OF TEN (10) WOOD SILLS AT EXISTING WINDOWS FOR THE BASE BID.
7. BASE BID SHALL INCLUDE PATCHING AND REPAIRING DAMAGED WOOD WINDOW COMPONENTS AT THE EXTERIOR RELATING TO THE REMOVAL OF THE EXISTING ALUMINUM STORM WINDOWS (SPUNTS, SCREW HOLES, ETC.) WITH EPOXY WOOD REPAIR PRODUCT.
8. BASE BID SHALL INCLUDE REPAINTING ALL ADJACENT WINDOW HEAD, JAMB, SILL, AFFECTED TRIM COMPONENTS, AND WINDOW SASHES, AT ALL INTERIOR AND EXTERIOR SURFACES.



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PROJECT: **YWCA OF HELENA EXTERIOR RENOVATION & A/C UPGRADES**

PROJECT NUMBER: **22-093**

PROJECT LOCATION: **501 N. PARK AVE. HELENA, MT 59601**

PREPARED FOR: **YWCA OF HELENA**

LOGO: **eliminating racism empowering women ywca**

CONSULTANT:

REVISIONS:

No.	Date	Revision Description

NOT FOR CONSTRUCTION

TEAM: DRAWN BY: PR/BL, CHECKED BY: BL/MD

TITLE: **WINDOW DETAILS**

PERMIT SET DATE: **2023-11-21**
PROJECT NUMBER: **22-093**

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