



City of Helena
Downtown Urban Renewal District
TAX INCREMENT FINANCING APPLICATION FORM
Community Development Department
Phone (406) 447-8490 Fax (406) 447-8460
citycommunitydevelopment@helenamt.gov

IMPORTANT: APPLICANTS MAY REQUEST UP TO FIFTY PERCENT MATCH (50%) FUNDING FOR PROJECTS EXCEEDING \$10,000 OR UP TO TWENTY-FIVE PERCENT MATCH (25%) FOR PROJECTS EQUAL TO OR LESS THAN \$10,000. COSTS TO BE PAID WITH DOWNTOWN URBAN RENEWAL DISTRICT FUNDS MAY NOT BE INCURRED BY THE APPLICANT PRIOR TO FUNDING APPROVAL AND THE SATISFACTION OF ANY CONDITIONS OF SUCH APPROVAL.

CITY STAFF RESERVE THE RIGHT TO RETURN MATERIALS THAT ARE DEEMED INCOMPLETE OR LACK SUFFICIENT SUPPORTING DOCUMENTATION.

ANYONE SEEKING TIF ASSISTANCE FROM THE CITY OF HELENA MUST SUBMIT A WRITTEN APPLICATION FOR EACH TIF-ASSISTED PROJECT. THE FOLLOWING PROCEDURE HAS BEEN DEVELOPED TO EXPEDITE THE REVIEW OF TIF FUNDING REQUESTS.

1. Initial Contact: Contact the City of Helena Community Development Department, 316 N. Park Avenue, Room 445, Helena, MT 59623, (406) 447-8490, citycommunitydevelopment@helenamt.gov, to discuss the project and determine eligibility for TIF assistance.
2. Prepare a Written Application: The Applicant must prepare a written application for each funding request. The City of Helena staff will assist the applicant with any questions in the preparation of the application. The application should address the questions posed in the Project Narrative section.
3. Staff Review: Upon submittal of all necessary information, City staff will review the merits of the project and the need for funding. At any point in the review process, the staff or Board may request more information of the Applicant or solicit comment on the project from other public agencies. Items included in personal financial statements will not be subject to public review or presentation to or comment by other agencies.
4. Board Review and Approval: The DURD TIF Advisory Board will review the project and staff recommendations, and then recommend the funding request or any part thereof, and any special terms of TIF assistance to the City Commission.
5. Development Agreement: The City of Helena and the Applicant must execute a legally binding contract, which establishes the terms and conditions of the TIF assistance.

CHECKLIST ITEMS

- Project Description
- Project Renderings (where applicable)
- Application Form (pages 4-6)
- Project Financing Worksheet (page 7)
- Project Narrative Section (page 9)



APPLICATION PRIORITY AREAS FOR TIF ASSISTANCE

TIF Applications will be assessed based on the merits of individual projects in relation to the goals and objectives of the Plan, and the project priority areas set by the DURD TIF Advisory Board, which are as follows:

1. Infrastructure Improvement Program: Consideration will be given for projects that identify and prioritize upgrades to water, sewer, stormwater drainage infrastructure, and vehicular and pedestrian/bike transportation improvements as well as increasing fiber optic capability.
2. Site Redevelopment & Public Space Activation Program: Consideration will be given for redevelopment of underutilized or underperforming properties, adaptive reuse of existing structures, demolition activities, or improvements to property aesthetics through enhanced lighting, landscaping, public art, or other creative means to better activates public-facing spaces.
3. DURD Housing Program: Consideration will be given for projects that create or retain affordable housing opportunities.
4. Facade Improvement Program: Consideration will be given for facade improvement projects that promote historic preservation and/or promote designs in keeping with the character of the district.
5. Marketing/Branding Project Program: Consideration will be given for projects establishing a marketing and/or branding plan with a wayfinding component and an implementation strategy for the Downtown Urban Renewal District.
6. Cruse Avenue Redevelopment Program: Consideration will be given for projects that study and implement activities addressing parcel surveying, the future surplus of city-owned property, and infrastructure planning for the Cruse Avenue right-of-way to pave the way for redevelopment activities.
7. Rodney Street Commercial Center Program: Consideration will be given for projects that reinvigorate the Rodney Street Commercial Center through gateway signage, infrastructural connectivity, and public art improvements.



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APPLICATION PRIORITY AREAS FOR TIF ASSISTANCE

Applications will be evaluated based on the following measurable objectives for projects and programs (listed in no particular order of priority):

1. Increased Taxable Valuation: Implementation of the project should encourage and/or result in an increase in the URD's tax base.
2. Relationship of Public and Private Investment: The relationship of private investment to public investment of a project shall be significant enough ensure prudent investment of public funds within the urban renewal district.
3. Job Creation: Projects that create opportunities for new employment contribute to the economic vitality of the District and community in a variety of ways.
4. Investment Spin-off: Projects that have the potential for investment spin-off, yielding a positive impact on the District.
5. Cost-Benefit Analysis of the Investment/Expenditure: Analysis of how the request cost of the TIF funds compares with the benefits of the project to the District.
6. Health and Safety Concerns: The Project's impact, positive or negative, on the environment in terms of noise, dust, pollution, public safety, traffic congestion, pedestrian access, visual aesthetics, etc.
7. Historic Preservation: The Project's capacity to encourage the preservation and protection of the cultural and economic heritage and physical assets of the District.
8. Density, Infill, and Adaptive Reuse: Projects will be evaluated for their ability to encourage or result in infill and adaptive reuse of underutilized and vacant lots and properties, and to promote more compatible, complementary uses within the District.
9. Cost of Public Services: The Project's ability to improve public services, such as water, sewer, sidewalks, parking, improved traffic circulation, etc., to an area that is currently underserved.
10. Housing Component: Projects that promote all types of housing in the area in conformance with the Downtown Neighborhood Plan and the Downtown URD Plan.
11. Conformance with the goals and objectives of the Railroad URD Plan, 2019 City of Helena Growth Policy, and the Downtown Neighborhood Plan: The Project's ability to significantly further specific goals found in the current Urban Renewal Plan, Growth Policy, and consistency with other City plans and objectives.
12. Conformance with Requirements for TIF Fund Expenditures, per 7-15-4288, MCA: Projects must cover eligible project activities stated in Montana statutes and be approved by the City Commission to satisfy needs identified in the Railroad Urban Renewal District Plan.



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Project Name: Atlas Building Sidewalk Date Submitted: 1/31/2023

APPLICANT INFORMATION

Name (First & Last): Edward Santos
 Address: 2530 Flowerree St
 City: Helena State: MT Zip Code: 59601
 Phone: 406-431-7289 Cell: 406-431-7289 Other: _____
 Email: ed@mt.net

If the applicant is not an individual doing business under his/her own name, the applicant has the status indicated below and is organized or operating under the laws of: State of Montana

- A non-profit or charitable institution/corporation
- A partnership or corporate entity known as Atlas Rentals, LLC
- District Resident
- Local Government
- Other (explain) _____

PROJECT INFORMATION

Building Address: 7 N Last Chance Gulch
 Legal Description: HELENA TOWNSITE 1869, S30, T10 N, R03 W, Lot 58, PER COS #360447

PROPERTY OWNER INFORMATION

If the property is not owned by the Applicant, written permission from the owner must be included to carry out the project and lease or other materials.

Property Owner (First & Last): Edward Santos
 Address: 2530 Flowerree St
 City: Helena State: MT Zip Code: 59601
 Phone: 406-431-7289 Cell: 406-431-7289 Other: _____
 Email: ed@mt.net



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PROJECT ARCHITECTURAL FIRM INFORMATION (WHERE APPLICABLE)

Company/Firm: NA
Point of Contact (First & Last): _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Cell: _____ Other: _____
Email: _____

PROJECT FINANCIAL LENDING INSTITUTION (WHERE APPLICABLE)

Company/Institution: NA
Point of Contact (First & Last): _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Cell: _____ Other: _____
Email: _____

PROJECT CONTRACTOR INFORMATION (WHERE APPLICABLE)

Company/Firm: All Around Construction
Point of Contact (First & Last): _____
Address: 2047 N Last Chance Gulch #416
City: Helena State: MT Zip Code: _____
Phone: 406-594-3918 Cell: _____ Other: _____
Email: goodlifedw@gmail.com

DESCRIPTION OF PROJECT

In a separate attachment, please provide a full written description of your project. Please indicate if the items are existing or new construction.

PROJECT RENDERINGS (IF APPLICABLE)

Submit design schematic and/or site and landscaping plans for project.



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TOTAL COST OF THE PROJECT

Please summarize. A full breakdown of costs is required on the *Project Cost Worksheet*.

Total Cost to replace sidewalks and fill in vaults along Jackson street side of the building is \$98,740

PROPERTY OWNERSHIP

Do you own the property or are you currently purchasing it? Explain.

I own the property and have owned the property since 2013

JOB CREATION

Will there be any new permanent or part time jobs as a result of this project excluding construction jobs associated with the development of the project? If so, how many?

No

PROJECT COMPLETION

What is the expected completion date of the project?

2023

PROPERTY TAXES

How much are the current annual property taxes including any improvements? Is the payment of taxes current?

\$18,577.63 Taxes are paid up to date



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PROJECT COST & FINANCING SECTION

Summarize the project costs on the Project Cost Worksheet. Use general categories and include items that are in the assistance request. The total cost should include land costs and “soft costs” such as zoning processes, surveys, and permits to enable the DURD Advisory Board to evaluate the entire private investment. If in doubt about an item's eligibility, include it. Staff will review the items and help determine eligibility. Briefly describe how the project will be financed and be sure to include equity and other investments into the project. If financing commitment is contingent on grants or URD TIF commitment to the project, has multiple sources, or other complex factors, provide that information.

NOTE: The TIF Program requests which include demolition/deconstruction activities, public sidewalks, streets, alleys and other right-of-way improvements; and/or work on utility main transmission lines totaling over \$25,000 are subject to Montana Prevailing Wage Rates and must include that in the itemized costs.

PROJECT COST WORKSHEET

Professional Services

1. <u>Engineering Plans (Stahly Engineering)</u>	\$ <u>2,900</u>
2. _____	\$ _____
Subtotal	\$ _____

Construction/Rehabilitation Costs

1. <u>Construction Costs, Labor and Materials</u>	\$ <u>95,800</u>
2. _____	\$ _____
3. _____	\$ _____
4. _____	\$ _____
5. _____	\$ _____
6. _____	\$ _____
Subtotal	\$ _____

Printing, Advertising, etc.

1. _____	\$ _____
2. _____	\$ _____
Subtotal	\$ _____

Other Miscellaneous Costs

1. _____	\$ _____
2. _____	\$ _____
Subtotal	\$ _____

TOTAL PROJECT DEVELOPMENT COSTS

Total \$ 98,700



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PROJECT FINANCING WORKSHEET

Owner/Developer Investment

Total applicant investment in the project \$ 2,900

Listing of Other Funding Sources & Amounts (Continue on separate sheet if needed)

1. Owner \$ _____

2. _____ \$ _____

3. _____ \$ _____

Request for Eligible items

Total TIF Request \$ 47,900

TOTAL PROJECT FINANCING \$ 0



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PROJECT NARRATIVES SECTION:

1. **Description of Project.** Provide a written description of the project, scope of work if a marketing plan or similar plan, number, and types of jobs to be created, etc.
 - a. Compliance with the Downtown URD Plan: Identify how your project supports the Downtown URD Plan and how the project benefits the neighborhood, URD, and community (See Attachment B for Goals and objectives of the Plan).
 - b. Local Zoning and Other Requirements: All projects assisted by Downtown URD TIF funds must, depending on the project location, comply with the City's Zoning Requirements, provide a brief narrative as to how the design successfully meets the requirements of City Zoning. Include any project schematic, site, and landscaping plans.
 - c. Demolition/Deconstruction: If the project request includes removal of structures, it must be done in accordance with to the provisions of Helena City Code Title 3 Chapter 15. Provide a brief narrative on how the building will be removed and whether it is a structure within the city that is individually listed on the National Register of Historic Places, or a property located within the city's historic districts which is designated by the state historic preservation office (SHPO) as primary or contributing.
 - d. Dislocation: If existing tenants are to be dislocated as a result of the project, provide a separate narrative describing how they have been or will be appropriately relocated.
2. **Logistical Considerations.** Provide a brief narrative describing the following:
 - a. Project Feasibility: The Applicant's demonstration of financial readiness and ability to proceed.
 - b. Applicant's Ability to Perform: The Applicant's capability to undertake the relative complexities of the project.
 - c. Timely Completion: The feasibility of completing the project according to the Applicant's proposed project schedule.
 - d. Payment of Taxes: All property taxes, special improvement district assessments, and other assessments on the project property must be paid to date, where applicable.



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PROJECT NARRATIVES SECTION (CONTINUED):

3. Economic & Community Development Potential: Provide a brief narrative for the following. If not applicable, please note:

- a. Tax generation: Describe how the project will increase the taxable valuation in the District.
- b. Relationship of Public and Private Investment: Describe the relationship of private investment to public investment of a project and discuss how it is a prudent investment of public funds within the urban renewal district.
- c. Job Creation: Are there any jobs created as a result of the project? Please describe.
- d. Investment Spin-off: Describe any potential for investment spin-off having a positive impact on the District.
- e. Cost-Benefit Analysis of the Investment/Expenditure: For projects that are \$10,000 or more, a cost-benefit analysis should be completed.
- f. Health and Safety Concerns: Describe the project's impact, positive or negative, on the environment in terms of noise, dust, pollution, public safety, traffic congestion, pedestrian access, visual aesthetics, etc.
- g. Historic Preservation: Describe the project's ability to preserve and protect the cultural and economic heritage and physical assets of the district.
- h. Density, Infill, and Adaptive Reuse: Describe if the project increases density in the DURD through infill and adaptive reuse of existing property(s).
- i. Cost of Public Services: Describe how the projects will improve public services such as water, sewer, sidewalks parking, improved traffic circulation, etc., to an area currently underserved.
- j. Housing Component: Describe any housing components to the project. One of the main goals of the Downtown Neighborhood Plan and the Downtown URD Plan is to promote all types of housing in the area.
- k. Conformance with Requirements for TIF Fund Expenditures, per 7-15-4288, MCA: Projects must cover eligible project activities stated in Montana state statutes (See Attachment A).

ATTACHMENT A: ELIGIBLE ACTIVITIES

As specified by state law, TIF may be used to finance redevelopment activities including the following (from 7-15-4288, M.C.A.):

1. Land acquisition, including acquisition of infrastructure-deficient areas and assemblage of land for development or redevelopment by private enterprise or public agencies, including sale, initial leasing, or retention by the municipality itself at fair value.
2. Demolition and removal of structures.
3. Relocation of occupants.
4. The acquisition, construction, and improvement of public improvements or infrastructure, including streets, roads, curbs, gutters, sidewalks, pedestrian malls, alleys, parking lots and off-street parking facilities, sewers, sewer lines, sewage treatment facilities, storm sewers, waterlines, waterways, water treatment facilities, natural gas lines, electrical lines, telecommunications lines, rail lines, rail spurs, bridges, publicly owned buildings, and any public improvements, and items of personal property to be used in connection with improvements for which the foregoing costs may be incurred.
5. Costs incurred in the exercise of urban renewal powers (found in 7-15-4233, MCA), including urban renewal projects as authorized by the City Commission.
6. Acquisition of infrastructure-deficient areas or portions of areas;
7. Administrative costs associated with the management of the urban renewal area or targeted economic development district;
8. Assemblage of land for development or redevelopment by private enterprise or public agencies, including sale, initial leasing, or retention by the local government itself at its fair value;
9. The compilation and analysis of pertinent information required to adequately determine the needs of the urban renewal area or targeted economic development district;
10. The connection of the urban renewal area or targeted economic development district to existing infrastructure outside the area or district;
11. The provision of direct assistance to secondary value-adding industries to assist in meeting their infrastructure and land needs within the area or district; and
12. The acquisition, construction, or improvement of facilities or equipment for reducing, preventing, abating, or eliminating pollution.

ATTACHMENT B: GOALS OF THE DOWNTOWN URD

- **Add to downtown vibrancy with a mix of uses**
 - Provide a range of housing for a range on incomes
 - Attract new business types that support residential uses
 - Encourage new business startups
 - Conduct feasibility, market, and other studies
 - Encourage ground floor active use
 - Add to improve urban landscaping with public art, trees, and planting
- **Upgrade Underperforming properties**
 - Develop vacant lots and encourage upgrades to under-performing property gaps
 - Encourage the update and adaptive re-use of buildings for 21st century needs, such as open interiors, improvements to broadband, and for safety and market competitiveness
 - Encourage redevelopment of parking facilities that create gaps in downtown ground-floor retail by allowing for non-parking uses on floor level and parking on other stories
 - Facilitate façade improvements
 - Inventory city properties with potential for higher use and develop criteria for disposition
 - Provide for demolition and site preparation as needed to upgrade properties
- **Invest in infrastructure needed for development**
 - Improve transportation infrastructure for better function and safety for vehicles, pedestrians and bicycles and include street scape features to improve aesthetics, safety, and quality for non-motorists
 - Rectify issues of parcels along and within streets that were not properly surveyed
 - Address improvement needed for fire suppression water flow requirements for higher densities; improve fire engine access and prioritize replacement of older segments of pipe for water and sewer
 - Facilitate storm drainage, and continue to address capacity issues and alternative detention features
 - Expand Fiber capability
 - Invest in capital improvements needed for parks and open spaces
 - Manage parking for optimal efficiency and unitization
 - Retain and address needs of existing city-owned cultural and historic facilities
- **Improve Transit, Pedestrian and Bike Connections**
 - Improve pedestrian and bike facilities
 - Develop a comprehensive bike network
 - Improve vehicle circulation and access to increase retail viability
 - Improve gateways and wayfinding
 - Increase transit options
 - Improve pedestrian connections from parking facilities to destination
- **Create a quality and unique experience**
 - Make improvements to attract more businesses
 - Encourage ground-floor transparency
 - Capitalize on downtown's historic assets

ATTACHMENT B: GOALS OF THE DOWNTOWN URD (CONTINUED)

- **Stimulate Vibrancy with a Mix of Uses (Rodney Street Goal)**
 - Retain the neighborhood character allowing for mixed uses, a variety of residential types, and a central commercial area
 - Keep the area primarily residential with a range of housing types intermixed with offices and government uses
 - Increase residential capacity
 - Retain the Rodney Street Commercial Center as the primary area for retail, with the potential for housing and offices in the upper floors
- **Reinvigorate the Rodney Street Commercial Center (Rodney Street Goal)**
 - Retain and build the Neighborhood Center as the center for retail, commercial and social gathering
 - Improve Rodney Street functionality, infrastructure and aesthetic between 6th and Broadway
 - Create gateways with wayfinding at both ends of the commercial center
 - Create better linkages between the courthouse complex, Myrna Loy center, and Rodney Street
 - Incorporate public art that differentiates the area from Downtown onto a fun and funky interactive way
 - Monitor parking demand and identify potential for temporary uses or longer term uses

Tax Increment Financing Application
Atlas Building
7 N Last Chance Gulch
Helena, Montana 59601

Project Narrative Section

Description of Project:

The Atlas building is located on the walking mall in downtown Helena. This iconic Helena building includes 24 residential units and 2 commercial units. The residential units are rent controlled section 8 housing for Helena's most vulnerable population. Currently Atlas Rentals is requesting 50% matching funds for assistance to fix the sidewalk along the Jackson Street side of the building. The sidewalks are cracking and the City of Helena has requested they get fixed. Fixing the sidewalk will require removing the old sidewalk, filling in large vaults under the sidewalk and finally replacing with new sidewalks. The sidewalk vaults make's this project more complicated and far costlier than simply replacing concrete.

The Atlas building is rent controlled that makes it difficult for the owners to generate cash when large infrastructure projects are needed. In fact, when rents in Helena have gone up 10% and 20% in the last year The Atlas building rent increased by 2%. Therefore, replacing the old sidewalk and filling the vaults under them with flowable fill requires a substantial investment that the TIF fund will be able to assist with. This project will comply with many of the URD goals including;

- Investing in Infrastructure
- Capitalizing on Historic Downtown Properties
- Improving Pedestrian access
- Addressing the Needs of Existing Historical Properties
- Downtown Housing

The Atlas sidewalk project will comply to all local Zoning requirements. No structures will be demolished or removed.

Logistical Considerations:

The atlas building owners have some funding available to start the sidewalk project as soon as possible. The owners have engineered plans from Stahly Engineering of what is involved and a cost from All Around Construction to perform the work. Last year, All Around Construction was retained by the City of Helena to fix public sidewalks. Finally, all taxes on the Atlas building are paid up to date.

Economic & Community Development Potential:

Replacing sidewalks is not as sensational as replacing a tired building facade but it's still important to the pedestrians walking on them every day. It is difficult to gage the benefit of replacing something that is already there but the sidewalks absolutely need to be there and in good shape.

- Tax Generation – Sidewalks in poor shape bring down a neighborhood so up-keep within the district should be a high priority.
- Relationship of Public and Private Investment – This project is a great example of private and public funds solving a problem. The Jackson street sidewalk that needs to be replaced is used more by the general public to go to and from shopping and work than it is used by the building tenants. In other words, the public is getting more benefit from this walk than the building owners. Much of the public benefit of the sidewalk would be paid for by the building owner.
- Job Creation – No new jobs will be created from this project.
- Investment Spin-off – New functional sidewalks in an area that has high use will not hurt others from investing in the area, however, dilapidated infrastructure can stymie new investment.
- Cost-Benefit Analysis – No cost benefit analysis has been completed.
- Health and Safety Concerns – The health and safety of pedestrians walking on the Atlas sidewalk is probably the greatest reason for receiving a TIF grant in this case. It is important to have good functioning sidewalks as it relates to the health and safety of our citizens and visitors of Helena. Trip and fall are probably the most common accidents that a poor sidewalk can cause. Drainage is another area where sidewalks can help with. Along the Jackson street sidewalk are paid Helena Parking. This parking is used all day and night as it is used by patrons of On Broadway Restaurant and other business that are open during night time hours.
- Historic Preservation – Dilapidated and crumbling sidewalks is part of the Atlas Building infrastructure and clearly fixing the sidewalk will help keep this historic and iconic building in good shape for years to come.
- Density, Infill, and Adaptive Reuse – The Atlas building currently is being used at its highest density use by housing Section 8 tenants in studio and 1-bedroom apartments.
- Cost of Public Services – Clearly the sidewalks in front of the Atlas building are serving the public creating an area for parking, for Helena residents and out of town visitors to go to and from work, stores and restaurants in the area.
- Housing Component – The Atlas building houses some of Helena’s most needy residence. This building is unique in that it is the only rent controlled housing in the area and is a reason why the owners are asking for financial assistance to fix the sidewalk.
- Conformance with Requirements for TIF Fund Expenditures – This project conforms to the TIF Fund Expenditure requirements.

Retaining Wall for Vaulted Sidewalk ONLY

Address: 14 N Jackson

Contractor: Steve Faherty

City of Helena, Building Division
316 N. Park Ave.
Helena, MT 59623
(406) 447-8437 or (406) 447-8438

RETAINING WALL REQUIRED INSPECTIONS

FOOTINGS _____

OTHER _____

NOTE: Plans and specs shall not be changed, modified or altered without authorization from The City of Building Division.

This permit shall be null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced.

The holder of this permit will be required to comply with all applicable provisions of the building code and city ordinances in effect even if the necessity for compliance is discovered after issuance of the permit.

Retaining Wall and Vault In Fill Approved w/ Conditions:

- Utilities Shall Be Appropriately Protected Or Terminated.
- Exit Access Pathways Shall Be Kept Clear.
- If Applicable, Ensure Adjacent Property And Public Right-Of-Ways Are Protected And Maintain Fire-Department Access.
- Comply With Montana Department Of Environmental Quality (DEQ) Requirements Regarding Possible Asbestos-Containing-Materials (ACM) For Testing And Disposal If Applicable.
- Will Require A Separate Sidewalk Closure Permit From City Engineering Division Prior To Construction.
- Sidewalks In City Right Of Way Must Be Built To City Of Helena Engineering Standards, City Code, And Be ADA Compliant.
- Provide All Special Inspection Results To The City Of Helena Building Division (If Applicable).
- Provide Geo-technical Report Results To The City Of Helena Building Division (If Applicable).

APPROVED

City of Helena Building Division

Approval of this document does not authorize the violation of any state, county, or city law or regulation.

Permit Number: BCOM22-00043

By: MGF

Date: 6/27/22

Remarks: Subject to field inspection

IT IS UNLAWFUL TO OCCUPY
THIS BUILDING PRIOR TO THE
FINAL INSPECTION

PERMIT COPY
THIS SET OF APPROVED
PLANS TO BE ON JOB SITE
AT ALL TIMES

CITY OF HELENA

Building Division
447-8437 or 447-8438
REFER TO RECORD CARD
FOR REQUIRED INSPECTIONS



Know what's below. Call 811,
or Click before you dig.

Think Asbestos!
Before you renovate or demolish

INSPECT for Asbestos using a Montana accredited inspector.
NOTIFY Montana's Department of Environmental Quality.
PERMIT Asbestos activities with DEQ.
406-444-5300
<https://deq.mt.gov/cleanupandrec/programs/asbestos>

It's the Law!
DEQ
Montana Department
of Environmental Quality

GENERAL STRUCTURAL NOTES

STAHLY JOB # 3375-00121

01 GENERAL REQUIREMENTS

CRITERIA

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS AND THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION

LOAD TYPE	DESIGN LOAD	ENGINEERING CRITERIA
LIVE LOAD:		
SIDEWALKS	250 PSF	(OR 8,000 LB CONCENTRATED WHEEL LOAD)

GENERAL CONDITIONS

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS WITH ARCHITECT'S DRAWINGS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

IN THE EVENT OF CONFLICTS BETWEEN THE STRUCTURAL DRAWINGS AND THE PROJECT SPECIFICATIONS, THE STRUCTURAL DRAWINGS SHALL CONTROL. THE ENGINEER SHALL BE NOTIFIED OF ALL CONFLICTS.

SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH WALLS AND FLOORS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE AND OTHER FINISH DETAILS.

CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM WORK.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

MATERIAL SUBSTITUTIONS FOR PRODUCTS SPECIFIED IN THE PLANS AND NOTES MAY BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. SUBSTITUTION SUBMITTALS SHALL IDENTIFY EXACTLY WHAT PRODUCTS ARE TO BE SUBSTITUTED AND INCLUDE AN ICC EVALUATION SERVICE REPORT DEMONSTRATING EQUIVALENT OR GREATER LOAD CAPACITIES THAN THE SUBSTITUTED PRODUCT.

CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA REGULATIONS. SHORING AND RE-SHORING SHALL BE DESIGNED BY A QUALIFIED DESIGNER AND THE ERECTED SHORING SHALL BE INSPECTED BY A REGISTERED STRUCTURAL ENGINEER, EXPERIENCED IN THE DESIGN OF SHORING SYSTEMS, WHO SHALL SUBMIT AN INSPECTION REPORT TO THE ARCHITECT. FORMWORK SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS REACHED ITS DESIGN STRENGTH AS INDICATED IN THE CONCRETE NOTES.

QUALITY ASSURANCE PLAN

STRUCTURAL OBSERVATION BY THE ENGINEER-OF-RECORD, PER IBC SECTION 1704, IS NOT REQUIRED FOR THIS PROJECT.

QUALITY CONTROL

SHOP DRAWINGS OF BIDDER-DESIGN AND PRE-ENGINEERED COMPONENTS SHALL INCLUDE THE DESIGNING PROFESSIONAL ENGINEER'S STAMP. THE ENGINEER SHALL BE REGISTERED IN THE STATE WHERE THE PROJECT OCCURS. THE SUBMITTAL WILL BE SUBJECT TO A CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.

SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD AND THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY THE ENGINEER OF RECORD. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY. THE REPRODUCIBLE WILL BE MARKED AND RETURNED.

IN THE EVENT OF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN APPROVED SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL.

ALL STRUCTURAL SYSTEMS COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

INSPECTION: SPECIAL INSPECTION IN ACCORDANCE WITH IBC SECTIONS 1704 AND 1705 SHALL BE PROVIDED FOR THE FOLLOWING WORK ITEMS:

ITEM	SPECIAL INSPECTION REQUIRED FOR:	FREQUENCY
REINFORCED CONCRETE	REINFORCING STEEL, MATERIALS AND PLACEMENT	PERIODIC
	BOLTS INSTALLED IN CONCRETE	CONTINUOUS
	USE OF CORRECT DESIGN MIX	PERIODIC
	PLACEMENT OF CONCRETE	CONTINUOUS
	CURING TEMPERATURE AND TECHNIQUE	PERIODIC

TESTING: MATERIALS TESTING IN ACCORDANCE WITH IBC SECTION 1705 SHALL BE PROVIDED FOR THE FOLLOWING WORK ITEMS.

ITEM	MATERIAL TESTING	FREQUENCY
REINFORCED CONCRETE	REINFORCING STEEL CERTIFIED MILL TESTS	CONTINUOUS
	CONCRETE SPECIMENS	CONTINUOUS

THE SPECIAL INSPECTION AND TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE CONTRACTOR. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION REPORTS AND TEST RESULTS.

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No.	DATE	BY
1	4/28/2022	MME

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GENERAL STRUCTURAL NOTES

SIDEWALK VAULTS INFILL
14 NORTH JACKSON ST
HELENA, MT 59601

ATLAS RENTALS, LLC

DESIGNED: MME
DRAWN: MME
CHECKED:
DATE: 4/28/2022

SHEET

S0.1

GEOTECHNICAL

IT IS RECOMMENDED THAT A GEOTECHNICAL REPORT BE OBTAINED ON ALL PROJECTS. GEOTECHNICAL INVESTIGATIONS ARE REQUIRED FOR STRUCTURES ASSIGNED TO SEISMIC DESIGN CATEGORIES C THROUGH F PER IBC SECTION 1803.5.11. THE OWNER IS RESPONSIBLE FOR PROVIDING A GEOTECHNICAL REPORT CONDUCTED IN ACCORDANCE WITH IBC SECTION 1803 TO THE STRUCTURAL ENGINEER PRIOR TO DESIGN OF THE STRUCTURE FOUNDATION. IF THE OWNER ELECTS NOT TO OBTAIN A GEOTECHNICAL REPORT AND IT IS DEEMED ACCEPTABLE BY THE LOCAL BUILDING OFFICIAL, ASSUMED DESIGN VALUES WILL BE USED. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THE ASSUMPTIONS PROVIDED BELOW VERIFIED.

ALLOWABLE SOIL PRESSURES AND LATERAL EARTH PRESSURES HAVE BEEN ASSUMED. IF THE UNDISTURBED NATIVE SOILS VARY FROM THOSE ASSUMED, IF CLAY IS PRESENT, OR IF GROUND WATER IS PRESENT, THE SOIL LOAD BEARING VALUES SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER OR APPROVED BY THE BUILDING OFFICIAL.

BACKFILL RETAINING WALLS WITH CONTROLLED LOW STRENGTH MATERIAL (FLOWABLE FILL) IN LIFTS PER THE PLANS WITH THE FOLLOWING PROPERTIES:

28-DAY COMPRESSIVE STRENGTH:	100 PSI PER ASTM C39
MAXIMUM DENSITY:	125 PCF
PORTLAND CEMENT:	TYPE II PER ASTM C150
FLY ASH (IF USED):	CLASS C OR F PER ASTM C618
AGGREGATES:	PER SPECIFICATIONS
WATER:	PER SPECIFICATIONS
CHEMICAL ADMIXTURES (IF USED):	PER ASTM C494

THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A MIX DESIGN BY EITHER TRIAL BATCH OR FIELD EXPERIENCE METHODS TO VERIFY THE REQUIRED COMPRESSIVE STRENGTH OF THE FLOWABLE FILL AT THE 28-DAY AGE. MIX DESIGN REQUIREMENTS ARE PER THE SPECIFICATIONS.

ASSUMED SOIL VALUES

ALLOWABLE SOIL BEARING PRESSURE:	2,000 PSF
PASSIVE EARTH PRESSURE:	250 PCF
COEFFICIENT OF FRICTION:	0.4

03 CONCRETE

ALL CONCRETE CONSTRUCTION SHALL BE PER THE ADOPTED EDITION OF ACI 318. TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS SHALL BE PER THE ADOPTED EDITION OF ACI 117.

CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 318 AND ACI 301. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONCRETE CONSTRUCTION	MIN. COMPRESSIVE STRENGTH, f_c AT 28 DAYS	MAX. W/C RATIO
FOOTINGS	3,500 PSI	0.45
RETAINING WALLS	4,500 PSI	0.45
EXTERIOR SLABS	4,500 PSI	0.45

CEMENT TYPE SHALL BE AS FOLLOWS:

CONCRETE EXPOSED TO SOIL: TYPE II

ALL CONCRETE EXPOSED TO FREEZING-AND-THAWING SHALL BE AIR-ENTRAINED WITH AN AIR-CONTENT CONFORMING TO ACI 318 TABLE 19.3.3.1

FIBERMESH SHALL BE 100% VIRGIN POLYPROPYLENE, FIBRILLATED FIBERS AS MANUFACTURED BY FIBERMESH CO. PER ASTM C-1116 TYPE 111 4.1.3 AND ASTM C-1116 PERFORMANCE LEVEL ONE, 1.5 LB. PER CUBIC YARD.

REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, $F_y = 60,000$ PSI. GRADE 60 REINFORCING BARS TO BE WELDED SHALL CONFORM TO ASTM A706. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. LONGITUDINAL REINFORCEMENT IN DUCTILE FRAME MEMBERS AND IN BOUNDARY MEMBERS SHALL COMPLY WITH ASTM A706.

REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 315 AND 318. REINFORCEMENT MAY BE SPLICED ONLY WHERE INDICATED ON THE DRAWINGS, EXCEPT THAT REINFORCING INDICATED "CONTINUOUS" MAY BE SPLICED AS REQUIRED BY THE CONTRACTOR FOR CONSTRUCTABILITY. DEVELOPMENT AND SPLICE LENGTHS SHALL BE AS FOLLOWS: (DB REFERS TO BAR DIAMETER, LD REFERS TO DEVELOPMENT LENGTH)

CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE PER THE TABLE BELOW. ADDITIONAL CONCRETE COVER MAY BE REQUIRED FOR FIRE PROTECTION - SEE PLAN NOTES WHERE APPROPRIATE.

CONCRETE PROTECTION FOR REINFORCING		
CONDITION	BAR SIZES	CLEAR COVER
UNFORMED SURFACES CAST AGAINST EARTH	ALL	3 INCHES
FORMED AND FINISHED SURFACES EXPOSED TO EARTH OR WEATHER	#5 OR SMALLER	1 1/2 INCHES
	#6 OR LARGER	2 INCHES
INTERIOR SURFACES OF WALLS AND SLABS	#11 OR SMALLER	3/4 INCHES

REINFORCING BAR SPLICE/DEVELOPMENT LENGTH SCHEDULE						
BAR SIZE	CONCRETE STRENGTH					
	$f_c = 3,500$ PSI			$f_c = 4,500$ PSI		
	SPLICE	DEVELOPMENT		SPLICE	DEVELOPMENT	
STRAIGHT		HOKED	STRAIGHT		HOKED	
#3	16 in	12 in	8 in	16 in	12 in	7 in
#4	21 in	16 in	11 in	19 in	14 in	9 in
#5	26 in	20 in	13 in	23 in	18 in	12 in

NOTES:

- LENGTHS SHALL BE PER ABOVE U.N.O. ON PLANS OR DETAILS.
- LENGTHS FOR EPOXY-COATED REINFORCING BARS SHALL BE MULTIPLIED BY 1.5.

SHEET INDEX	
SHEET NUMBER	SHEET NAME
S0.1	GENERAL STRUCTURAL NOTES
S0.2	GENERAL STRUCTURAL NOTES
S1.1	RETAINING WALL SECTION
S1.2	RETAINING WALL SECTION



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GENERAL STRUCTURAL NOTES

SIDEWALK VAULTS INFILL
14 NORTH JACKSON ST
HELENA, MT 59601

ATLAS RENTALS, LLC

DESIGNED: MME
DRAWN: MME
CHECKED:
DATE: 4/28/2022

SHEET

S0.2

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**SIDEWALK
VAULT**

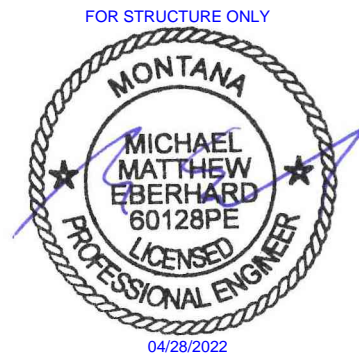
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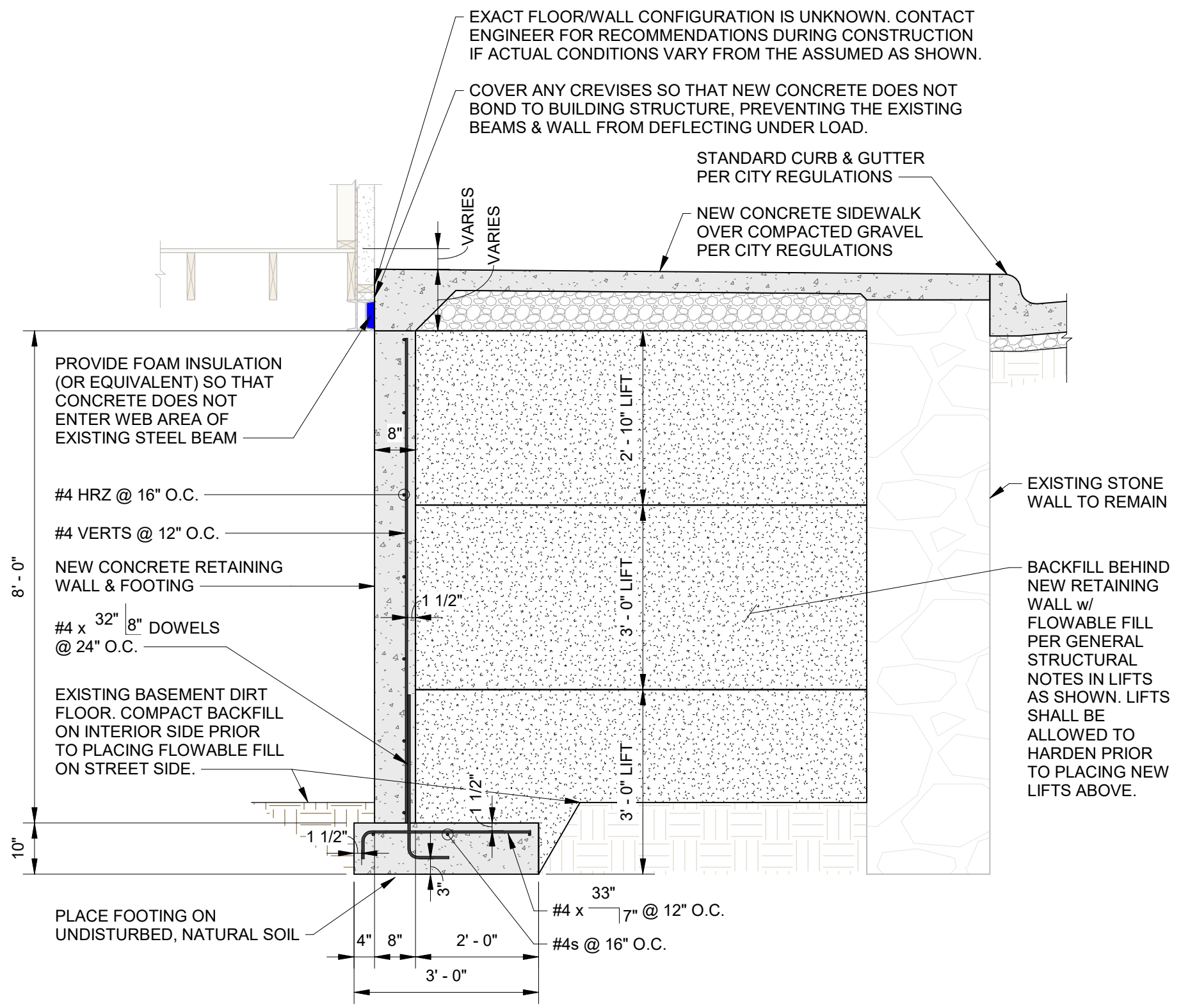
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SHEET

S1.1



2 SIDEWALK VAULT PLAN
S1.1



1 SIDEWALK VAULT SECTION
S1.1
1/2" = 1'-0"

- SEE SHEETS S0.1 & S0.2 FOR GENERAL STRUCTURAL NOTES

EXACT FLOOR/WALL CONFIGURATION IS UNKNOWN. CONTACT ENGINEER FOR RECOMMENDATIONS DURING CONSTRUCTION IF ACTUAL CONDITIONS VARY FROM THE ASSUMED AS SHOWN.

COVER ANY CREVISES SO THAT NEW CONCRETE DOES NOT BOND TO BUILDING STRUCTURE, PREVENTING THE EXISTING BEAMS & WALL FROM DEFLECTING UNDER LOAD.

STANDARD CURB & GUTTER PER CITY REGULATIONS

NEW CONCRETE SIDEWALK OVER COMPACTED GRAVEL PER CITY REGULATIONS

PROVIDE FOAM INSULATION (OR EQUIVALENT) SO THAT CONCRETE DOES NOT ENTER WEB AREA OF EXISTING STEEL BEAM

#4 HRZ @ 16" O.C.

#4 VERTS @ 12" O.C.

NEW CONCRETE RETAINING WALL & FOOTING

#4 x 3/8" DOWELS @ 24" O.C.

EXISTING BASEMENT DIRT FLOOR. COMPACT BACKFILL ON INTERIOR SIDE PRIOR TO PLACING FLOWABLE FILL ON STREET SIDE.

PLACE FOOTING ON UNDISTURBED, NATURAL SOIL

EXISTING STONE WALL TO REMAIN

BACKFILL BEHIND NEW RETAINING WALL w/ FLOWABLE FILL PER GENERAL STRUCTURAL NOTES IN LIFTS AS SHOWN. LIFTS SHALL BE ALLOWED TO HARDEN PRIOR TO PLACING NEW LIFTS ABOVE.



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**SIDEWALK
VAULT**

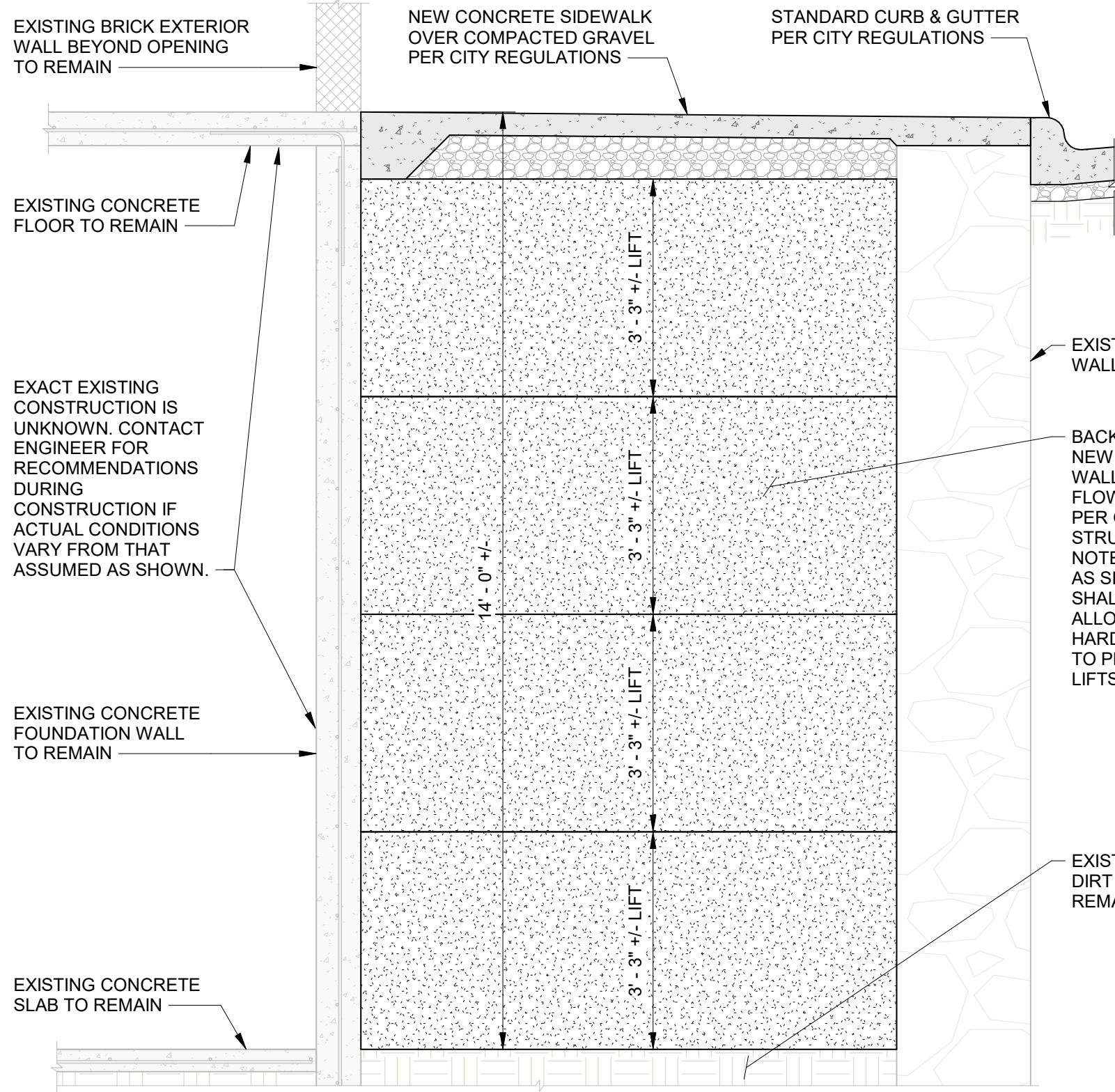
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14 NORTH JACKSON ST
HELENA, MT 59601

ATLAS RENTALS, LLC

DESIGNED: MME
DRAWN: MME
CHECKED:
DATE: 4/28/2022

SHEET

S1.2



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2 SIDEWALK VAULT PLAN
S1.2

1 SIDEWALK VAULT SECTION
S1.2 1/2" = 1'-0"

- SEE SHEETS S0.1 & S0.2 FOR GENERAL STRUCTURAL NOTES



All Around Construction, LLC
 2047 N Last Chance Gulch #416
 MT
 406-594-3918
 goodlifedw@gmail.com

Estimate 1025

ADDRESS Ed Santos	DATE 12/13/2022	TOTAL \$95,800.00	EXPIRATION DATE 12/30/2022
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ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
Labor and Materials	Vault Number One - removal of all debris in vaulted; footing and retaining wall per engineering specs; flowable fill; new sidewalk, curb, and gutter; asphalt patch back	1	36,000.00	36,000.00
Labor and Materials	Vault Number Two - removal of all debris in vaulted; footing and retaining wall per engineering specs; flowable fill; new sidewalk, curb, and gutter; asphalt patch back	1	36,000.00	36,000.00
Labor and Materials	Vault Number Three - removal of all debris in vaulted; footing and retaining wall per engineering specs; flowable fill; new sidewalk, curb, and gutter; asphalt patch back	1	23,800.00	23,800.00

This proposal is good for 15 days.

TOTAL	\$95,800.00
--------------	--------------------

THANK YOU.

Accepted By

Accepted Date

Permit Reviews

City of Helena

Permit Number: BCOM22-00043

Description: Fill sidewalk vaults & replace sidewalk

Applied: **5/16/2022**

Approved:

Site Address: **14 JACKSON ST**

Issued:

Finalized:

City, State Zip Code: **HELENA, 59601**

Status: **UNDER REVIEW**

Applicant: **Atlas Rentals LLC**

Parent Permit:

Owner: **SANTOS ALICE M & EDWARD A**

Parent Project:

Contractor: **<NONE>**

Details:

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: AUTO

5/16/2022	5/27/2022	6/6/2022	BUILDING	Mike Friend	APPROVED WITH CONDITIONS	see comments and plans for comments and conditions
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Notes:

- Retaining Wall and Vault In Fill Approved w/ Conditions:
- Utilities Shall Be Appropriately Protected Or Terminated.
 - Exit Access Pathways Shall Be Kept Clear.
 - If Applicable, Ensure Adjacent Property And Public Right-Of-Ways Are Protected And Maintain Fire-Department Access.
 - Comply With Montana Department Of Environmental Quality (DEQ) Requirements Regarding Possible Asbestos-Containing-Materials (ACM) For Testing And Disposal If Applicable.
 - Will Require A Separate Sidewalk Closure Permit From City Engineering Division Prior To Construction.
 - Provide As-Built Drawing, Stamped And Signed By Design Professional Prior To Final Inspection.
 - Sidewalks In City Right Of Way Must Be Built To City Of Helena Engineering Standards, City Code, And Be ADA Compliant.
 - Provide Special Inspection Results To The City Of Helena Building Division.
 - Provide Geotechnical Report Results To The City Of Helena Buildin

5/16/2022	6/1/2022	5/30/2022	FIRE	Lou Antonick	APPROVED WITH CONDITIONS	
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Notes:

Atlas Rentals LLC
14 North Jackson Street
Helena Montana 59601

1. FIRE: This project must meet all requirements in the 2012 International Fire Code (IFC), Chapter 5, section 503 and associated appendices. If there are any additions, deletions, changes or conflicts, please contact the HFD Fire Marshal.

5/16/2022		5/19/2022	PERMIT TECH REVIEW	Permit Tech Bucket		
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Notes:

Permit Reviews

City of Helena

5/16/2022	6/2/2022	5/30/2022	PARKS	Craig Marr	APPROVED WITH CONDITIONS	Jackson street only. No work is permitted in the Pedestrian
Notes: It appears from the plan that the work will occur on Jackson Street and not in the Pedestrian Mall.						
5/16/2022	5/18/2022	5/30/2022	ELECTRICAL REVIEW	Derek Dellwo	NOT APPLICABLE	
Notes:						
5/16/2022	5/23/2022	5/30/2022	ENGINEERING OTHER	Adam Jorgenson	APPROVED WITH CONDITIONS	
Notes: Sidewalk closer permit will need to be received from the engineering department prior to start of work.						
5/16/2022	5/20/2022	5/30/2022	HISTORIC DEMOLITION-FACADE	Ed Johnson	NOT APPLICABLE	
Notes:						
5/16/2022	5/27/2022	5/30/2022	PLANNING	MICHAEL ALVAREZ	NOT APPLICABLE	
Notes:						
5/16/2022	5/16/2022	5/30/2022	PLMG-MECH REVIEW	Tyson Pallister	NOT APPLICABLE	
Notes:						
5/16/2022	6/6/2022	5/30/2022	UTILITY METER	Trent Scheuer	NOT APPLICABLE	
Notes:						
5/16/2022	5/23/2022	5/30/2022	UTILITY SEWER AND STORM	Shane Bogard	NOT APPLICABLE	
Notes:						
5/16/2022	5/17/2022	5/30/2022	UTILITY WATER	James Newlun	NOT APPLICABLE	
Notes:						